



Arlington Zoning Board of Appeals

Date: Tuesday, April 8, 2025
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

You are invited to a Zoom meeting on April 8, 2025 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting: [https://town-arlington-ma-us.zoom.us/meeting/register/cfvXSMMSRAS17tttr6hiBg](https://town-arlington-ma-us.zoom.us/join/https://town-arlington-ma-us.zoom.us/meeting/register/cfvXSMMSRAS17tttr6hiBg)

After registering, you will receive a confirmation email containing information about joining the meeting.

Per Board Rules and Regulations, public comments will be accepted during the public comment period during each public hearing. Written comments may be provided by email to ZBA@town.arlington.ma.us sent at least 48 hours prior to the start of the meeting.

Notice to the Public on meeting privacy In the interests of preventing abuse of video conferencing technology, all participants, including members of the public, wishing to engage via the Zoom App must register for each meeting and will need to follow multi-step authentication protocols. Please allow additional time to join the meeting. Further, members of the public who wish to participate without providing their name may still do so by telephone using the dial-in information provided above.

2. **Member Vote: Docket #3835 28 Draper St Decision**

3. **Member Vote: Meeting Minutes 3/25/2025**

Hearings

4. **Docket #3822 20 Pond Lane (continued)**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/205792>

5. **Docket #3836 103 Thorndike St**

OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

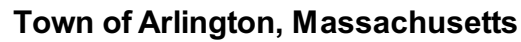
6. **Docket #3839 16 Lansdowne Rd**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/208471>

7. **Docket #3841 69 Henderson St**

OpenGov link: <https://arlingtonma.portal.opengov.com/records/208845>

Meeting Adjourn



Summary:

Register in advance for this meeting: <https://town-arlington-ma-us.zoom.us/meeting/register/cfvXSMMRAS17tttr6hiBg>

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Town of Arlington, Massachusetts

Member Vote: Docket #3835 28 Draper St Decision



Town of Arlington, Massachusetts

Member Vote: Meeting Minutes 3/25/2025



Town of Arlington, Massachusetts

Docket #3822 20 Pond Lane (continued)

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/205792>

ATTACHMENTS:

Type	File Name	Description
Reference Material	#3821_20_Pond_Lane_legal_ad.pdf	#3822 20 Pond Lane legal ad
Reference Material	3820_20_Pond_Lane_Application_SP-24-26.pdf	3822 20 Pond Lane Application SP-24-26
Reference Material	3821_20_Pond_Lane_Final_Memo_in_Support_of_Application_9-12-24.pdf	3822 20 Pond Lane Final Memo in Support of Application 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_A_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit A 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_B_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit B 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_C_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit C 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_D_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit D 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_E_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit E 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_F_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit F 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_G_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit G 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_H_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit H 9-12-24
Reference Material	3821_20_Pond_Lane_Final_Memo_Exhibit_H_9-12-24.pdf	3822 20 Pond Lane Final Memo Exhibit H 9-12-24
Reference Material	3822_20_Pond_Lane_Abutter_List.pdf	3822 20 Pond Lane Abutter List
Reference Material	3822_20_Pond_Lane_Abutters_map.pdf	3822 20 Pond Lane Abutters map
Reference Material	Neighbor_letter_-20_Pond_Lane.pdf	Neighbor letter -20 Pond Lane -Creedon
Reference Material	Neighbor_Photos_20_Pond_Lane_-_Creedon.pdf	Neighbor Photos 20 Pond Lane - Creedon
Reference Material	Neighbor_letter_-20_Pond_Lane_-_Simader.pdf	Neighbor letter -20 Pond Lane - Simader
Reference Material	3822_20_Pond_Lane_Lt_to_ZBA_12-2024.pdf	3822 20 Pond Lane Lt to ZBA 12-2024
Reference Material	Lt_to_ZBA_1.7.25.pdf	Lt to ZBA 1.7.25
Reference Material	3822_20_Pond_Lane_2-4-25_Lt_to_ZBA_Tue_Feb_4_2025.pdf	3822 20 Pond Lane 2-4-25_Lt_to_ZBA_Tue
Reference Material	Waiver_of_Time_Constraints_Lt_to_ZBA_2-10-25(17843495.1).pdf	Waiver of Time Constraints Lt to ZBA 2-10-25 -Town Clerk Stamped
Reference Material	3822_20_Pond_Lane_Final_Supplemental_Filing_Tue_Mar_4_2025.pdf	3822 20 Pond Lane Final_Supplemental_Filing_Tue_Mar_4_2025
Reference Material	3822_20_Pond_Lane_Application_before_3-6-2025_SP-24-26.pdf	3822 20 Pond Lane Application before 3-6-2025 SP-24-26
Reference Material	Michael_Simader_-_Letter_to_ZBA_in_Opposition_to_the_Expansion_of_Commercial_Use_at_20_Pond_Ln.pdf	3822 20 Pond Ln Michael Simader -Letter to ZBA in Opposition to the Expansion of Commercial Use
Reference Material	3822_20_Pond_Ln_Updated_Application_3-10-2025_SP-24-26.pdf	3822 20 Pond Ln Updated Application 3-10-2025 SP-24-26
Reference Material	3822_20_Pond_Lane_Abutter_List_and_map_for_re-advertisement_3-13-25.pdf	3822 20 Pond Lane Abutter List and map for re-advertisement 3-13-25
Reference Material	3821_20_Pond_Lane_Legal_Ad_-re_advertise.pdf	3821 20 Pond Lane Legal Ad -re advertise
Reference Material	3822_20_Pond_Lane_extension_to_5-15-2025.pdf	3822 20 Pond Lane extension to 5-15-2025

Material - - - - - - .
Reference 20_Pond_Lane_-_Proposed_Conditions_-_25_0414.pdf
Material

20 Pond Lane - Proposed Conditions 25-04-
14



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Pond Lane Realty LLC**, on September 12, 2024, a petition seeking to alter their property located at **20 Pond Land, Unit 2 - Block Plan 010.0-0004-0005.A**. Said petition would require a **Special Permit** under **8.1.1A** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on October 22, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

DOCKET NO 3821

Christian Klein, RA, Chair
Zoning Board of Appeals

Please direct any questions to: **ZBA@town.arlington.ma.us**



SP-24-26

Special Use Permit
Application (ZBA)

Status: Active
Submitted On: 9/12/2024



Primary Location

20 POND LN Unit 2
Arlington, MA 02474


Owner

POND LANE REALTY LLC
C/O NICHOLAS BOIT; 32
HARBOUR DR N OCEAN RIDGE,
FL 33435

Applicant

 Douglas Troyer
 617-466-8236
 dtroyer@pierceatwood.com
 100 Summer Street
22nd Floor
Boston, MA 02110

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)**** 

Section 8.1.1(A) of the Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Since its construction in 1963 the commercial use of the garage on the Property has been for the storage of commercial vehicles and equipment along with office use, auto body work and auto repair work. The Applicant's request to continue the use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work is consistent with the historical use of the garage and is in fact less intrusive than when the garage was used as an auto body shop and auto repair shop. The use is consistent with other uses in the neighborhood as the abutting Town property is being used for the storage of recreational equipment for the Arlington/Belmont Crew organization who stores their vehicles, trailers, crew boats, and other equipment on the Town property.

As the Property is fully developed - there are no changes proposed to the garage structure, driveway, drainage, utilities or other infrastructure servicing the Property - and the requested use is consistent with what has historically been used at the Property, the requested commercial use of the garage will continue to fit seamlessly with the community and neighborhood.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The Applicant states that the proposed project will not involve any changes to the driveway or parking area on the Property. Additionally, there are no proposed changes to the traffic flow, access, parking and pedestrian circulation that has been in existence at the Property for over 61 years. The Applicant anticipates that in addition to 2 vehicles parking in the driveway for the residential use for the Property, that approximately 2 commercial vehicles for employees will use the driveway area for parking and that the remaining vehicles will be parked inside of the garage which has ample storage area.

Therefore, because there no changes proposed to the structure or facilities on the Property and due to the fact that the requested use is consistent with the historical uses of the garage, it is the Applicant's position that its requested use of the garage will not create any undue traffic congestion, or unduly impair pedestrian safety.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

As provided above, the garage was fully developed in 1963 and there are no changes being proposed to the drainage, utilities and other infrastructure servicing the Property as they are all more than adequate to accommodate the continue commercial use of the garage. Additionally, no hazardous materials will be stored on Property.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

As provided above, the garage structure and commercial use of the garage was permitted by the ZBA in 1963. The commercial use of the garage is proposed to be that of storage of commercial vehicles and equipment, office use, and proposed light construction work to be performed inside of the garage. Pursuant to Section 8.1.1(A) of the Bylaw, the ZBA may granted the requested use if it finds that the use shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. As provide above, it is the Applicant's position that the ZBA has the necessary facts to make such a finding under the Bylaw.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The Applicant directs the ZBA's attention to its statements provided for in Paragraph 1-4 above. Additionally, the Applicant states that the requested use is consistent with the historical commercial use made at the Property since 1963 and permission to continue such use will not impact the integrity or character of the R-2 district or adjoining districts nor be a detriment to the health or welfare of the community.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

It is the Applicant's position that due to the fact that the requested use is consistent with the historical use of the garage and that the continuance of such commercial use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work to be performed inside of the garage will not be detrimental to the character of the neighborhood.

Dimensional and Parking Information

Present Use/Occupancy *

Commerical Garage

Proposed Use/Occupancy *

Commercial Garage

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

3375

Proposed Gross Floor Area (Sq. Ft.)*

3375

Existing Lot Size (Sq. Ft.)*

9200

Proposed Lot Size (Sq. Ft.)* ?

9200

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

87.49

Proposed Frontage (ft.)*

87.49

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

0

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?
0

Existing Left Side Yard Depth (ft.)* ?
0

Proposed Left Side Yard Depth (ft.)* ?
0

Minimum Left Side Yard Depth required by Zoning* ?
0

Existing Right Side Yard Depth (ft.)* ?
0

Proposed Right Side Yard Depth (ft.)* ?
0

Minimum Right Side Yard Depth required by Zoning* ?
0

Existing Rear Yard Depth (ft.)*
0

Proposed Rear Yard Depth (ft.)*
0

Minimum Rear Yard Depth required by Zoning*
0

Existing Height (stories)
1

Proposed Height (stories)*
1

Maximum Height (stories) required by Zoning*
3

Existing Height (ft.)*
14

Proposed Height (ft.)*
14

Maximum Height (ft.) required by Zoning*
29

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)*

0

Proposed Usable Open Space (% of GFA)*

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by
Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

0

Proposed type of construction*

0

Open Space Information

Existing Total Lot Area*

9200

Proposed Total Lot Area*

9200

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,
Existing Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

0



Total Proposed Gross Floor Area

0



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*



Nick Boit

Sep 4, 2024

MEMORANDUM IN SUPPORT OF SPECIAL USE PERMIT APPLICATION

To: Town of Arlington – Zoning Board of Appeals
From: Douglas A. Troyer, on behalf of Pond Lane Realty, LLC
Re: 20 Pond Lane, Arlington, MA - Special Use Permit Application
Parcel Id No. 10-4-5.A
Date: September 12, 2024

Dear Honorable Members of the Zoning Board of Appeals:

This Memorandum is submitted to the Town of Arlington Zoning Board of Appeals (hereinafter the “ZBA”) on behalf of our client, Pond Lane Realty, LLC (“Applicant”) in support of its Application for Special Use Permit pursuant to Sections 8.1.1(A) and 3.3 of the Town of Arlington Zoning Bylaws (the “Bylaw”) to continue the use of the existing commercial garage for commercial office use, storage of vehicles and equipment, and light construction work at the property located at 20 Pond Lane, Arlington, MA (“Property”).

I. FACTUAL BACKGROUND

The Property is located in the Town’s R-2 Zoning District and is classified as a residential/commercial property containing .211 acres (approximately 9,200 sq ft.) with a 4,418 sf ft two- family residence and a 3,375 sq. ft. commercial garage located on the Property. (See Property Card attached hereto as **Exhibit “A”**). This application pertains to the use of the existing commercial garage located on the Property only.

The Applicant purchased the Property from Edward C. Simonian, Trustee of the Philip Simonian Realty Trust on October 26, 2015. (See copy of Deed recorded with the Middlesex South Registry of Deeds in Book 66280, Page 526 attached hereto as **Exhibit “B”**). From 1963 to the present, the garage located on the Property has been used for commercial purposes. The Applicant intends to list the Property for sale and prior to filing this application the Applicant was instructed by the Inspectional Services Director that a special use permit from the ZBA is necessary. Thus, the Applicant submits this application to clarify that the use of the commercial

garage for office, storage of vehicles and equipment, and light construction work is a legal current use of the commercial garage, and if necessary, to request a special use permit for the continuance of the pre-existing non-conforming commercial use. No changes are being made to the Property or to the existing buildings located on the Property.

A copy of the existing conditions Plot Plan is attached hereto as **Exhibit "C"**.

HISTORY OF THE COMMERCIAL USE OF THE PROPERTY

1. In June of 1961 Philp and Margaret Simonian purchased the Property, which at that time only contained the residential structure.
2. Mr. Simonian was the owner of State Coal & Oil Co., and from the summer of 1961 to 1963 used the Property to store commercial vehicles and equipment for his business.
3. In or around May of 1963, Mr. Simonian sought a variance from the ZBA due to a decision of the then Inspector of Buildings concerning the Inspector's refusal to issue a building permit for the construction of a commercial garage at the Property as such use was in violation of Section 14 of the Zoning Bylaws in effect at that time. Mr. Simonian was seeking to construct the garage to house his commercial vehicles and equipment and operate his business from the garage.
4. Public hearings were held in May of 1963 and the ZBA issued a decision in ZBA Case #779 permitting the construction of the commercial garage for his business and to be used for storage of commercial vehicles and equipment of Mr. Simonian's fuel business on the Property. (See **Exhibit D**).
5. Subsequent to the ZBA's decision, Mr. Simonian constructed the commercial garage on the Property. The garage consists of a flat-roof cinder block structure that is 45' wide and 75' long (3,375 sq. ft.) and 14' in height. The garage contains a large storage space area, office for business operations, a mezzanine storage area and two bathrooms for employees. (Copies of photos taken in 2011 attached hereto as **Exhibit "E"** show the garage as originally constructed).
6. In July of 1965, Mr. Simonian filed a petition with the ZBA seeking permission to further rent the commercial garage located on the Property for business use. At that time, Mr. Simonian was using a small portion of the garage for his company's business office but was no longer using the remainder of the space in the garage. Mr. Simonian sought permission to rent the remaining space in the garage to a commercial business involved in industrial truck batteries and battery charging devices for the operation of their business and storage of their vehicles and equipment. The ZBA granted the petition permitting the requested use at the Property. (See ZBA Case #959 attached hereto as **Exhibit "F"**).
7. Subsequent to 1963, the ownership of the Property was conveyed amongst Mr. Simonian's family. In 1978 Mr. and Mrs. Simonian conveyed ownership of the Property to the

Philip Simonian Realty Trust. In 1990 and again in 2004 the Property was conveyed to the Successor Trustees of the Philip Simonian Realty Trust.

8. From 1963 to 2015, the Simonian Family continued to rent out the garage for commercial uses and an auto body shop and auto mechanic business operated out of the garage during the majority of this time period. (See **Exhibit E**).

9. On October 26, 2015, the Applicant purchased the Property. (See **Exhibit B**). At that time the auto body shop stopped operating out of the garage and Arlington Motor Mart remained as a tenant of the Applicant and continued to perform auto repair work at the Property until 2020.

10. Additionally, from October 2015 to end of 2022, the Applicant's prior property management company, Barrington Management Company and Brigs LLC, used a portion of the garage for its maintenance division for the storage of materials, use as a woodworking shop, and parking for commercial vehicles. The Applicant further rented the garage to Flagship Cleaning Services, later renamed Syntegra, a commercial cleaning company who also used the garage for storage of materials and supplies, storage of commercial cleaning vehicles and used the office in the garage for its main office for operations.

11. The Applicant has replaced the roof on the garage and performed some interior work to clean-up the garage storage area, office, and restrooms. In 2019, the Applicant painted the garage while doing renovation work to the residential structure on the Property. (See photos attached hereto as **Exhibit "G"**).

12. In or around late 2022 to the Spring of 2023, the Applicant continued to perform maintenance work to the Property and contacted the Director of the Recreational Commission concerning the creation a buffer area between the Property and the abutting Town Property. The Town currently rents its land to Arlington/Belmont Crew organization who uses the Town's property to store its recreational boats and equipment. In the Spring of 2023, the Recreational Commission approved work allowing the Applicant to remove certain pavement and install a landscape buffer consisting of stone gravel, and several hedges and trees on the boundary line separating and creating a buffer area between the properties. (See **Exhibit C** and copies of photos of the existing conditions at the site along with photos showing the interior of the garage attached hereto as **Exhibit "H"**).

13. From 2022 to December 2023 the garage was used by Buffington, LLC, a real estate management company for use as a maintenance facility, site of operations and parking of commercial vehicles and equipment. The Applicant is currently considering placing the Property on the market and is considering his options concerning the continued commercial operations for the garage.

14. Thus, from the garage's initial construction in 1963 to the present, the garage has been used for commercial operations for office use, storage of vehicles and equipment and light construction by the owner of the Property and by its tenants. The Applicant seeks permission to

continue such use and further seeks clarification that should the Property be sold that any subsequent owner would be able to use the garage in the same historical manner.

I. REQUEST FOR SPECIAL USE PERMIT AND FINDING THAT THE PRE-EXISTING NON-CONFORMING USE OF THE GARAGE FOR STORAGE OF COMMERCIAL VEHICLES AND EQUIPMENT AND LIGHT CONSTRUCTION WORK SHALL NOT BE SUBSTANTIALLY MORE DETRIMENTAL THAN THE EXISTING NON-CONFORMING USE TO THE NEIGHBORHOOD.

Relevant portions of Section 8.1.1(A) of the Bylaws provides as follows:

Except as provided in this Section, this Bylaw shall not apply to structures or uses lawfully in existence or lawfully begun, or to a building permit or special permit issued before the first publication of notice of the public hearing on this Bylaw (December 14, 2017)... Pre-existing nonconforming structures or uses may be extended or altered, provided, that no such extension or alteration shall be permitted unless there is a finding by the Board of Appeals that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming structure or use to the neighborhood.

It is the Applicant's position that the proposed continued use of the garage at the Property shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. Furthermore, the Applicant states that as provided in more detail below, its pending Application for Special Use Permit meets the criteria set forth in Section 3.3.3 of the Bylaw as follows:

1. The Requested Use is Essential or Desirable to the Public Convenience and Welfare:

Since its construction in 1963 the commercial use of the garage on the Property has been for the storage of commercial vehicles and equipment along with office use, auto body work and auto repair work. The Applicant's request to continue the use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work is consistent with the historical use of the garage and is in fact less intrusive than when the garage was used as an auto body shop and auto repair shop. The use is consistent with other uses in the neighborhood as the abutting Town property is being used for the storage of recreational equipment for the Arlington/Belmont Crew organization who stores their vehicles, trailers, crew boats, and other equipment on the Town property.

As the Property is fully developed - there are no changes proposed to the garage structure, driveway, drainage, utilities or other infrastructure servicing the Property - and the requested use is consistent with what has historically been used at the Property, the requested commercial use of the garage will continue to fit seamlessly with the community and neighborhood.

2. The Requested Use Will Not Create Undue Traffic Congestion, or unduly Impair Pedestrian Safety:

The Applicant states that the proposed project will not involve any changes to the driveway or parking area on the Property. Additionally, there are no proposed changes to the traffic flow, access, parking and pedestrian circulation that has been in existence at the Property for over 61 years. The Applicant anticipates that in addition to 2 vehicles parking in the driveway for the residential use for the Property, that approximately 2 commercial vehicles for employees will use the driveway area for parking and that the remaining vehicles will be parked inside of the garage which has ample storage area.

Therefore, because there no changes proposed to the structure or facilities on the Property and due to the fact that the requested use is consistent with the historical uses of the garage, it is the Applicant's position that its requested use of the garage will not create any undue traffic congestion, or unduly impair pedestrian safety.

3. The Requested Use Will Not Overload Any Public Water, Drainage Or Sewer System, Or Any Other Municipal System To Such An Extent That The Requested Use in the Immediate Area Or Any Other Area Of The Town Will Be Unduly Subjected To Hazards Affecting Health, Safety Or The General Welfare:

As provided above, the garage was fully developed in 1963 and there are no changes being proposed to the drainage, utilities and other infrastructure servicing the Property as they are all more than adequate to accommodate the continue commercial use of the garage. Additionally, no hazardous materials will be stored on Property.

4. The Special Provisions For The Requested Use Under the Bylaw Are Fulfilled.

As provided above, the garage structure and commercial use of the garage was permitted by the ZBA in 1963. The commercial use of the garage is proposed to be that of storage of commercial vehicles and equipment, office use, and proposed light construction work to be performed inside of the garage. Pursuant to Section 8.1.1(A) of the Bylaw, the ZBA may granted the requested use if it finds that the use shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. As provide above, it is the Applicant's position that the ZBA has the necessary facts to make such a finding under the Bylaw.

5. The Requested Use Will Not Impair The Integrity Or Character Of the District Or Adjoining Districts, Nor be Detrimental To the Health or Welfare.

The Applicant directs the ZBA's attention to its statements provided for in Paragraph 1-4 above. Additionally, the Applicant states that the requested use is consistent with the historical commercial use made at the Property since 1963 and permission to continue such use will not impact the integrity or character of the R-2 district or adjoining districts nor be a detriment to the health or welfare of the community.

6. The Requested Use Will Not, By Its Addition To The Neighborhood, Cause An Excess Of the Use That Could Be Detrimental To The Character Of Said Neighborhood.

It is the Applicant's position that due to the fact that the requested use is consistent with the historical use of the garage and that the continuance of such commercial use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work to be performed inside of the garage will not be detrimental to the character of the neighborhood.

III. CONCLUSION

For all of the above reasons, the Property has historically been used for both residential and commercial purposes. The continuance of the requested commercial use of the garage on the Property will fit seamlessly with the existing use at the Property and neighborhood as there will essentially be no change to the uses of the garage on the Property that have been continuously and consistently made since 1963.

Furthermore, as provided above and in the supporting materials submitted in support herewith, it is the Applicant's position that it has shown sufficient evidence to support a finding from the ZBA that the requested use of the garage on the property for the storage of commercial vehicles and equipment, office use, and light construction use will not be substantially more determinantal than the existing nonconforming use to the neighborhood and that its application complies with all applicable criteria set forth in Section 3.3 of the Bylaw to grant the special use permit requested by the Applicant.

Therefore, the Applicant respectfully request that the ZBA grant the Applicant's application for Special Use Permit.

September 12, 2024

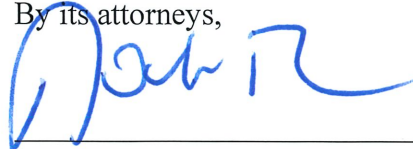
Page -7-

Thank you for your attention to this matter and should you have any questions or require any additional information concerning this Application, please do not hesitate to contact me directly.

Respectfully submitted,

POND LANE REALTY, LLC

By its attorneys,



Douglas A. Troyer
100 Summer Street, 22nd Floor
Boston, MA 02110
(671) 488-8236
dtroyer@pierceatwood.comcc:

cc: Client (via email only)

EXHIBIT “A”

[HOME](#)[SEARCH](#)[SUMMARY](#)[INTERIOR](#)[EXTERIOR](#)[ABOUT](#)[Printable Record Card](#) | [Previous Assessment](#) | [Condo Info](#) | [Sales](#) | [Zoning](#) | [Comments](#) |**WebPro**

Card 1 of 2

[Next Card](#)[Last Card](#)Location **20 POND LN**Property Account Number **8440**Parcel ID **010.0-0004-0005.A**Old Parcel ID **8440 --****Current Property Mailing Address**Owner **POND LANE REALTY LLC**Address **C/O NICHOLAS BOIT
32 HARBOUR DR N**City **OCEAN RIDGE**
State **FL**
Zip **33435**
Zoning **R2****Current Property Sales Information**Sale Date **10/26/2015**
Sale Price **1,000,000**Legal Reference **66280-526**
Grantor(Seller) **SIMONIAN EDWARD C,****Current Property Assessment**Year **2024**Land Area **0.211 acres****Card 1 Value**Building Value **663,700**
Xtra Features Value **0**
Land Value **515,000**
Total Value **1,178,700****Total Parcel Value**Building Value **824,300**
Xtra Features Value **4,600**
Land Value **515,000**
Total Value **1,343,900****Narrative Description**

This property contains **0.211 acres** of land mainly classified as **Res. / Comm.** with a(n) **Multi-Conver** style building, built about **1900** , having **Aluminum** exterior and **Asphalt Shgl** roof cover, with **3** unit(s), **13** total room(s), **5** total bedroom(s), **3** total bath(s), **0** total half bath(s), **0** total 3/4 bath(s).

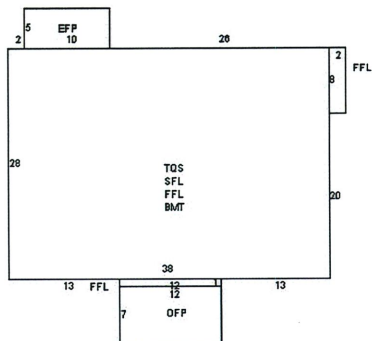
Legal Description**Property Images**

EXHIBIT “B”

Middlesex South Registry of Deeds
Electronically Recorded Document

This is the first page of the document - Do not remove

Recording Information

Document Number : 181865
Document Type : DEED
Recorded Date : October 26, 2015
Recorded Time : 02:49:32 PM

Recorded Book and Page : 66280 / 526
Number of Pages(including cover sheet) : 3
Receipt Number : 1874080
Recording Fee (including excise) : \$4,685.00

MASSACHUSETTS EXCISE TAX
Southern Middlesex District ROD # 001
Date: 10/26/2015 02:49 PM
Ctrl# 232809 19350 Doc# 00181865
Fee: \$4,560.00 Cons: \$1,000,000.00

Middlesex South Registry of Deeds
Maria C. Curtatone, Register
208 Cambridge Street
Cambridge, MA 02141
617-679-6300
www.cambridgedeeds.com

QUITCLAIM DEED

Edward C. Simonian, of Centerville, Barnstable County, Massachusetts for consideration paid and in full consideration of ONE MILLION AND 00/100 DOLLARS (\$1,000,000.00) grants to POND LANE REALTY, LLC a Massachusetts limited liability company, of 376 Massachusetts Avenue, Arlington, Massachusetts 02474

WITH QUITCLAIM COVENANTS

all right, title and interest in and to that certain parcel of land with the buildings and improvements thereon known as 20 Pond Lane, Arlington, Middlesex County, Massachusetts, being more particularly described as follows:

The land with the buildings and improvements thereon situate in Arlington, Middlesex County, Massachusetts, situate on Pond Lane and shown as Lot "B" on "Plan of Land in Arlington, Mass." dated August 25, 1939, M. Waters, C.E. recorded with Middlesex South District Deeds Book 6323, Page 475, bounded and described:

NORTHERLY: by Pond Lane, eighty-seven and 49/100 (87.49) feet;
EASTERLY: by land of owners unknown, one hundred thirty (130) feet;
SOUTHERLY: by Lot A on said plan, eighty (80) feet; and
WESTERLY: by Lot A on said plan, one hundred (100) feet, more or less.

Containing 9,200 square feet of land, more or less.

For title, see deed recorded with Middlesex County Southern District Registry of Deeds Book 41726 Page 393.

The subject premises is conveyed subject to tenants and occupants.

I, the undersigned Edward C. Simonian, do hereby revoke, rescind and terminate any and all homestead rights in the herein property and do under oath depose and say that there are no other individuals entitled to claim the benefit of any existing estate of homestead in and to the property.

20 Pond Lane Arlington

Executed as a sealed instrument this 26th day of October, 2015.

Edward C. Simonian
Edward C. Simonian

COMMONWEALTH OF MASSACHUSETTS

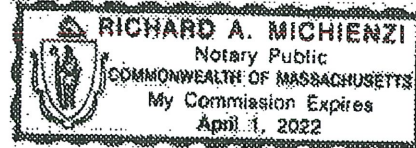
Widdlejex, ss.

On this 26th day of October, 2015, before me, the undersigned notary public, personally appeared Edward C. Simonian, proved to me through satisfactory evidence of identification, which was Mass drivers license ~~known to me~~ to be the person whose name is signed on the preceding or attached document and acknowledged to me that he signed it voluntarily for its stated purpose and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief.

[Signature]

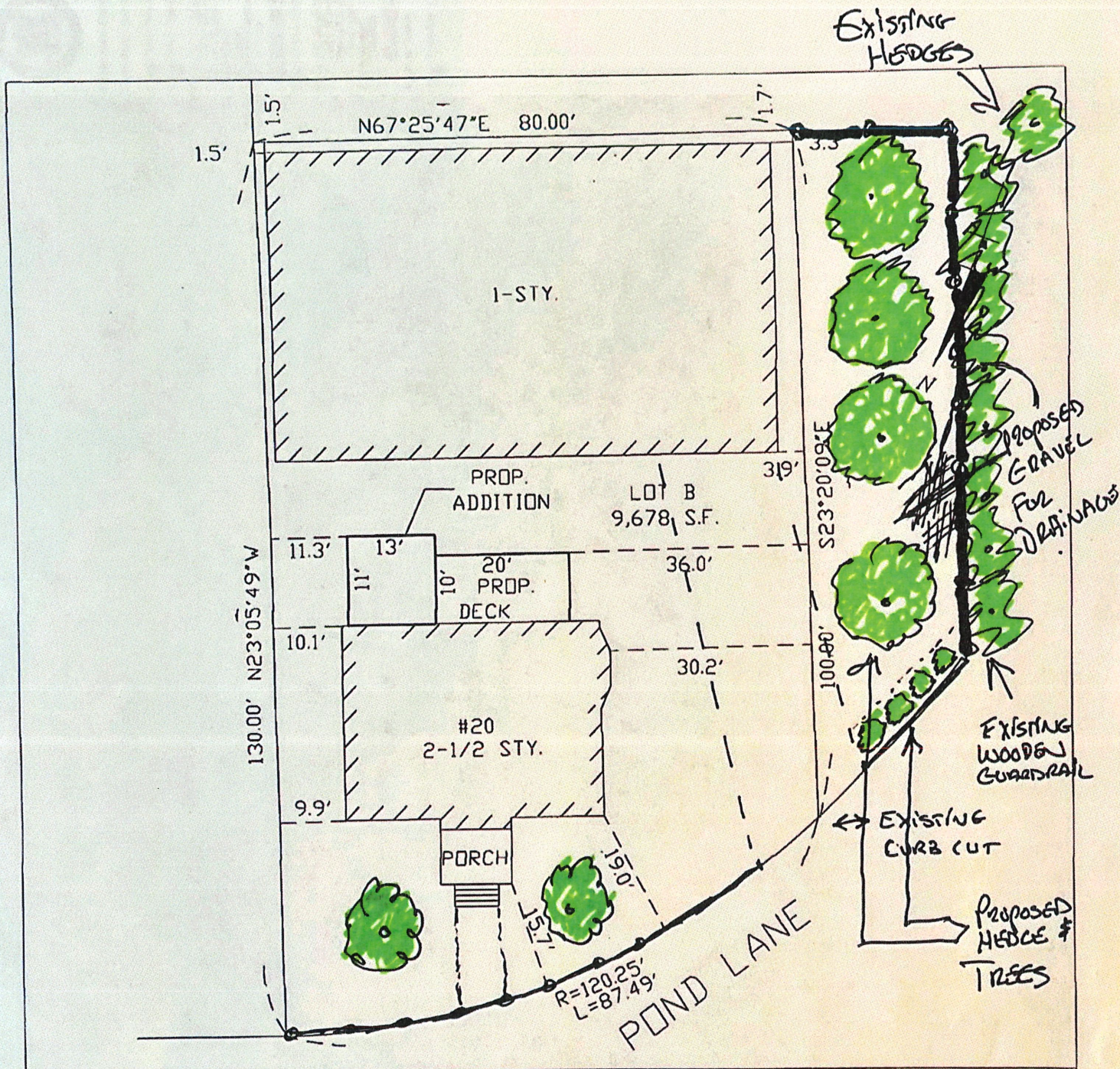
NOTARY PUBLIC

My Commission Expires: _____



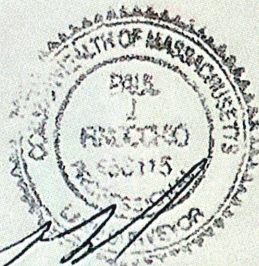
RealEstFrm/Simonian/20PondLane(Sale)/Quitclaim Deed.doc

EXHIBIT “C”



NOTE:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM AN ACTUAL ON THE GROUND INSTRUMENT SURVEY.



PAUL J. FINOCCHIO P.L.S. No.36115

DATE

PLOT PLAN OF LAND IN ARLINGTON, MA

PREPARED BY:
PJF & ASSOCIATES
4 HIGHLAND AVE WAKEFIELD, MA
PAUL J. FINOCCHIO-P.L.S.
(781)883-5473

SCALE: 1" = 20'

DEED REF.:

DATE: APRIL 25, 2017

FILE No.:6953

32 of 245

EXHIBIT “D”

TOWN OF ARLINGTON

ZONING

BOARD OF APPEALS

APPEAL NO. 779

of Philip Simonian

Statement of Facts.

The Zoning Board of Appeals, hereinafter called the "Board" conducted a public hearing on the appeal of Philip Simonian of Arlington from the refusal, on March 19, 1963, of the Inspector of Buildings to issue a permit for the construction of a garage to house vehicles and equipment on his property located at 20 Pond Lane.

The action of the Inspector of Buildings was automatic since the proposed would be used to house commercial vehicles constituting a violation of Section 14 of the Zoning By-Law.

The appeal was filed in the office of the Inspector of Buildings on April 3, 1963. The hearing was held at the Town Hall on Tuesday evening, May 7, 1963 after due notice had been given by publication in the Arlington Advocate on April 11 and 18, 1963 and by mail, postage prepaid, to owners of real estate opposite to and abutting on the property in question, and to other parties in interest, whose names and addresses are recorded on a separate list which forms a part of the official record of these proceedings, and by posting the property.

The members of the Board present were:

Ralph F. Tuller, Chairman
Alfred C. Bridgens, Secretary
John J. Bilafer

The appellant was present at the hearing accompanied by his builder, Rugo Santini, Santini Sons, Inc., 116 Magnolia St., Arlington, Mass. Also present at the hearing were Valma Jenkins, 9 Pond Lane, Thomas F. McCarthy, 19 Pond Lane, Vincent Govoni, 21 Pond Lane, who were recorded in favor of granting the petition. Mr. & Mrs. Fred S. Karaganis, 21 Wyman Terrace did not favor the petition, but their objections were directed toward an unsightly condition existing in the rear of Arlington Pipe and Supply rather than with the garage proposed by appellant.

The property involved in this appeal is shown on Block Plan #10 as Lot B numbered 20 Pond Lane containing a dwelling house on 9200 sq. ft. of land.

Active businesses are presently being carried on in the immediate area. On a lot adjacent is a Storm Window Factory and to the rear of appellant's lot is located a plumbing supply house.

Appellant, the owner of State Coal & Oil Co. purchased the property in the Summer of 1961 and since that time has been using it for the storage of his vehicles and equipment.

The proposed garage would be a dwelling 14' high, 45' wide and 75' long of cinder block construction and would be located at the rear of the lot at a distance of 19' from the existing dwelling in accordance with the plan submitted by the appellant.

It is noted by the Board that the proposed location of the garage is in immediate proximity to other commercial buildings in the area. The contours of the proposed garage would be in keeping with this business atmosphere. It would seem that a garage to house appellant's vehicles and equipment would provide a much neater appearance to the property than is evident at present.

It is the opinion of the Board that the purpose for which the appellant wishes to use the proposed dwelling causes a hardship to appellant and that relief may be granted without detriment to the public good or to the intent of the Zoning By-Law.

It is the unanimous decision of the Board that the appeal shall be allowed and the Inspector of Buildings is authorized to issue the necessary permit for construction located substantially as shown on the plot plan submitted.

EXHIBIT “E”



Google



Arlington, Massachusetts

Street View - Aug 2011

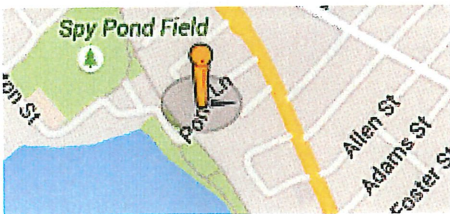


Image capture: Aug 2011 © 2015 Google





EXHIBIT “F”

TOWN OF ARLINGTON

ZONING

BOARD OF APPEALS

PETITION NO. 959

OF Philip Simonian

Statement of Facts.

The Zoning Board of Appeals, hereinafter called the "Board" conducted a public hearing on the petition of Philip Simonian of Arlington, seeking permission to rent the premises at 20 Pond Lane for business use.

The proposed use of the premises would be at variance with Section 14 of the Zoning By-Law.

The petition was filed in the office of the Inspector of Buildings on July 5, 1967. The hearing was held at the Town Hall on Tuesday evening, July 25, 1967 after due notice had been given by publication in the Arlington News on July 13, and 20, and by mail, postage prepaid, to owners of real estate opposite to and abutting on the property in question, and to other parties in interest, whose names and addresses are recorded on a separate list which forms a part of the official record of these proceedings, and by posting the property.

The members of the Board present were:

Ralph F. Tuller, Chairman
Alfred C. Bridgens, Secretary
John R. Kenny

The petitioner was present in person at the hearing.

The property involved in this petition is shown on Block Plan #10 as Lot 10, numbered 20 Pond Lane, located in a Residence B District.

The building here involved was constructed by Mr. Simonian pursuant to authority granted in 1963 by this Board in Case #779. It is a flat-roofed cinder block garage-type building 45' wide and 75' long. It was built to provide storage space for vehicles and equipment used in petitioner's fuel oil business.

The petitioner continues to use a relatively small portion of the building as business office space, but he no longer uses the rest of the building for the purpose for which it was built. Instead, he seeks approval of the rental of the premises to Harrington Equipment Co., which is a service business, formerly located at 17 Mill Street, involved with industrial truck batteries and battery charging devices.

The Harrington concern presently consists of the owner and two employees. There is a pickup truck which is the only vehicle owned by the business. The operation of the business does not involve any heavy work or noisy operations, ²¹ of 245

Philip Simonian

#959

Page 2.

nor is there any appreciable traffic to the premises by customers or suppliers. Harrington will construct an office space approximately 18 ' by 14' , and he will use the rest of the building, except for the offices retained by Mr. Simonian, for his active business and equipment storage purposes.

It seems clear that the Harrington business will be less actively at variance with the residential neighborhood in which it is located than was the storage of fuel oil trucks and equipment by Mr. Simonian.

It is the unanimous decision of the Board that the petition shall be allowed, authorizing the use of the premises for business purposes substantially similar to those now being conducted by Harrington Equipment Co.

EXHIBIT “G”

Pond Ln

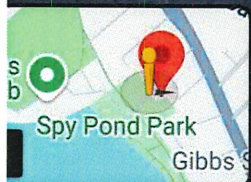


d Ln

n, Massachusetts

Google Street View

0 See more dates



Google

44 of 245

Google Maps

Arlington, Massachusetts
Google Street View
Nov 2020 [See more dates](#)



Image capture: Nov 2020 © 2024 Google

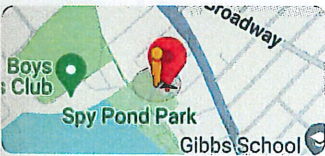
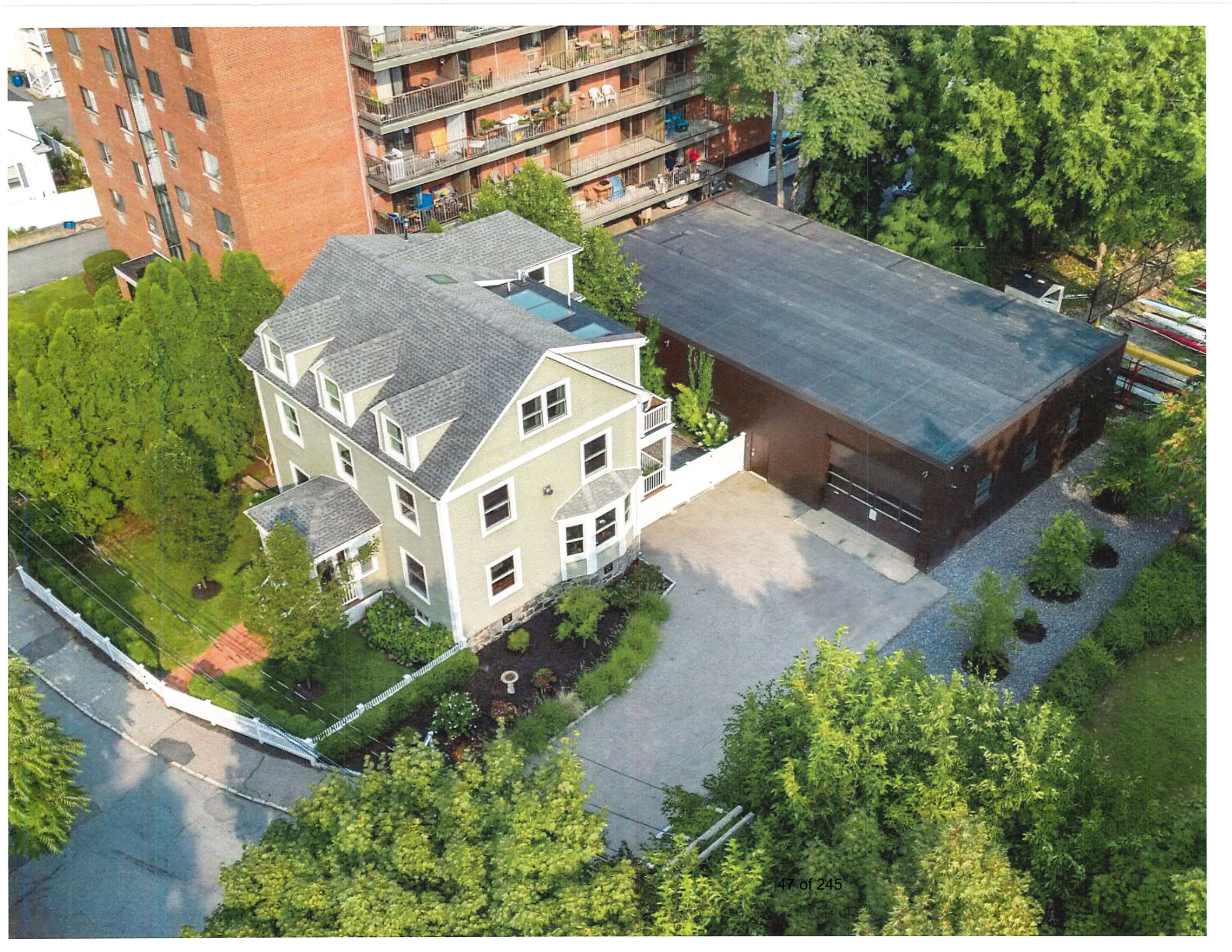


EXHIBIT “H”





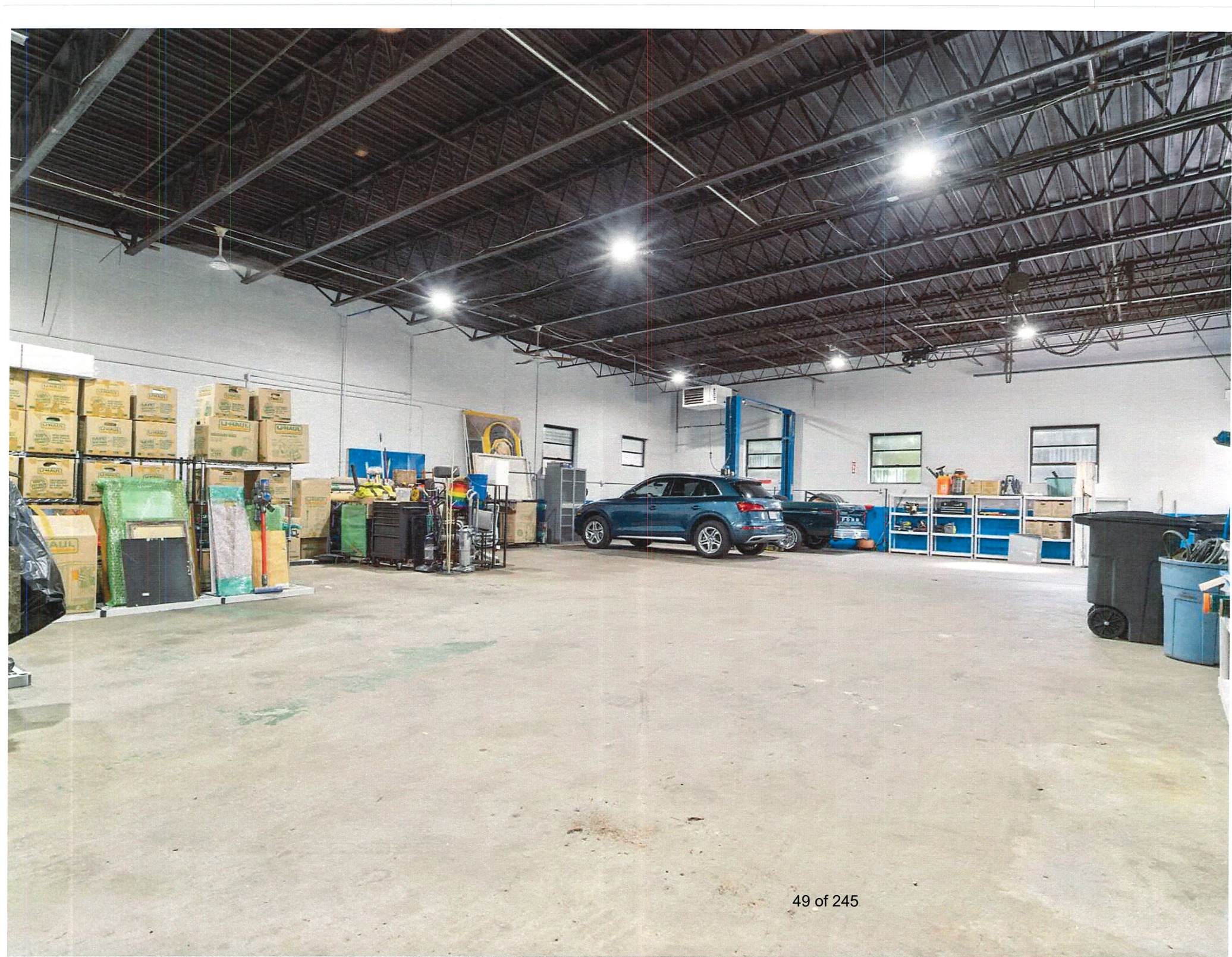
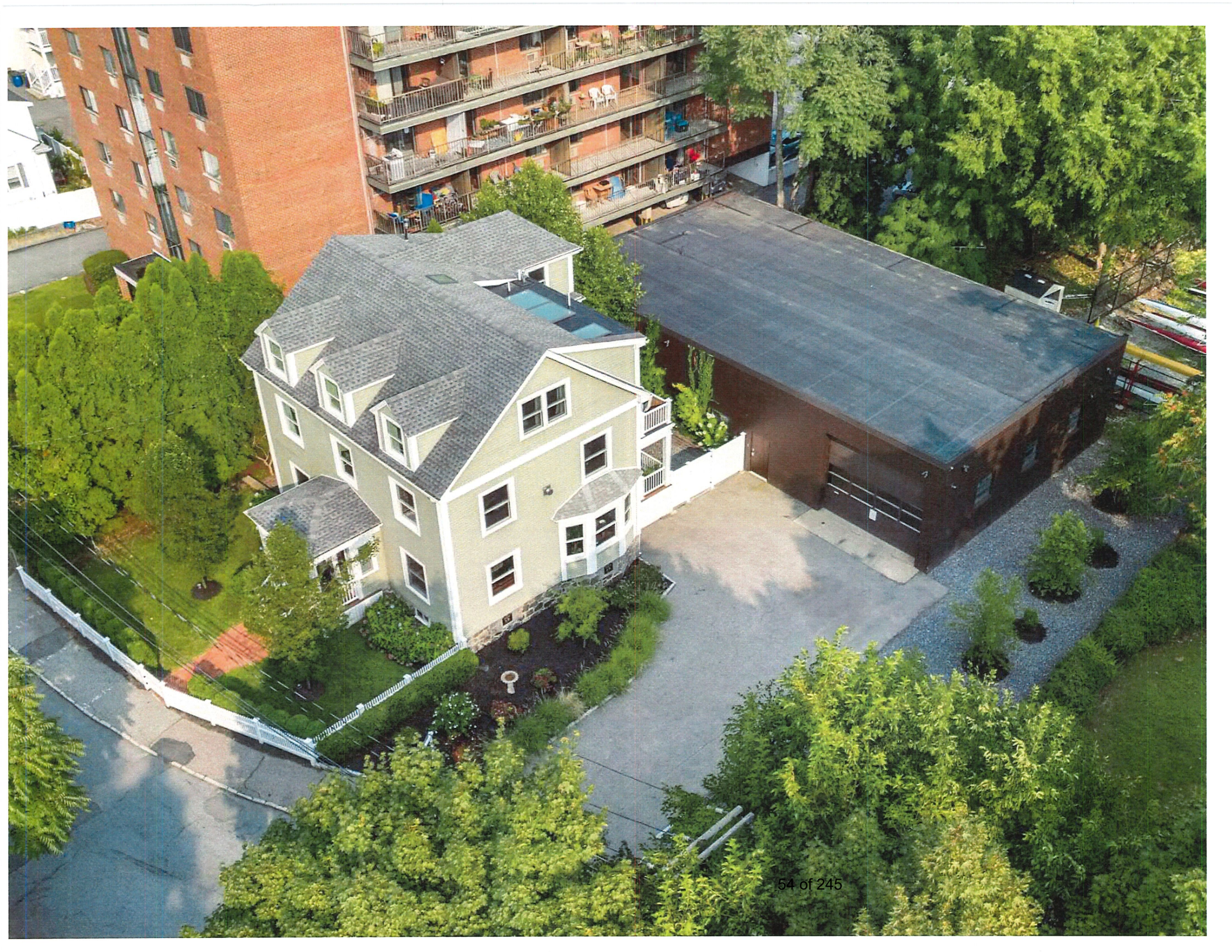




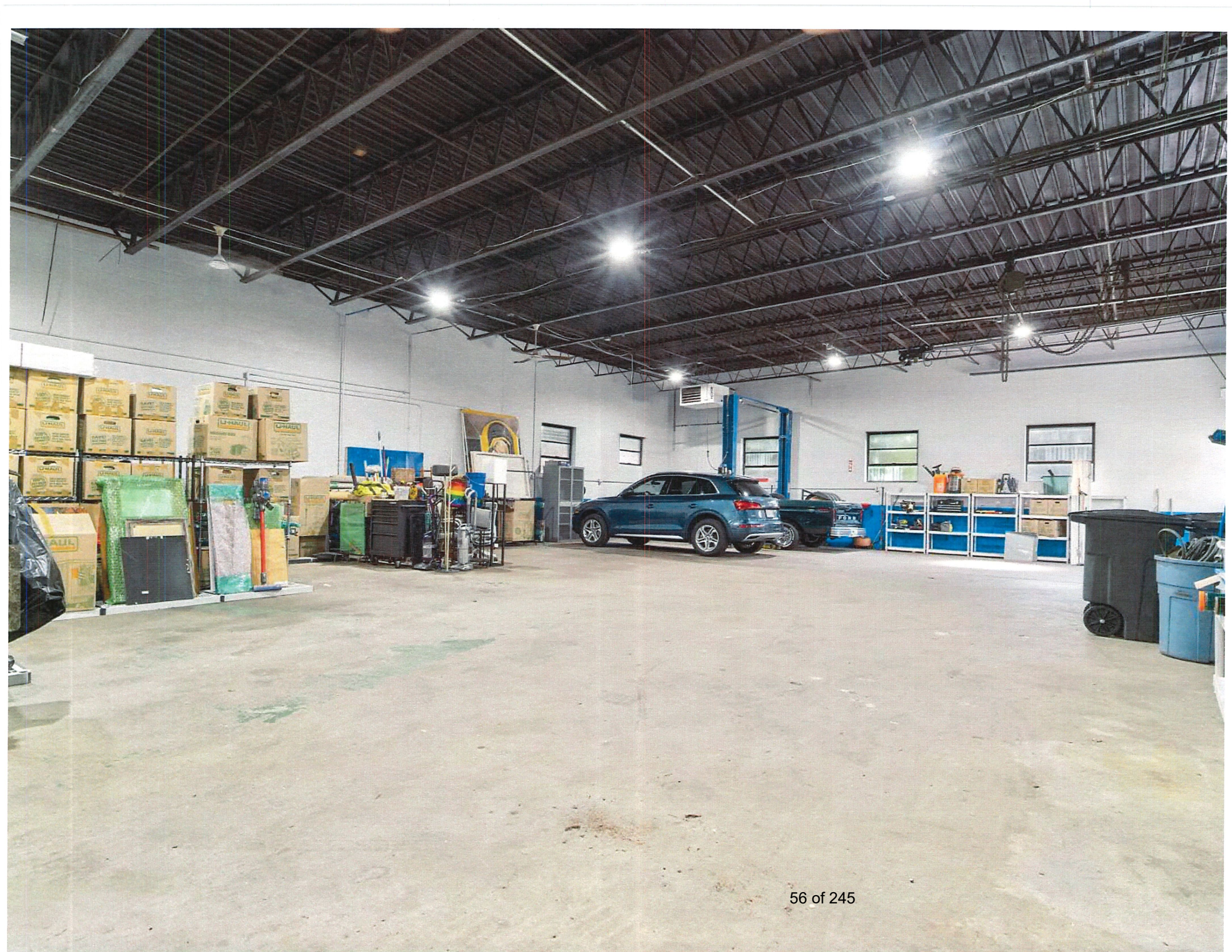




EXHIBIT “H”













**CERTIFIED ABUTTERS LIST****Date: September 24, 2024****Subject Property Location: 20 POND LN Arlington, MA****Subject Parcel ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
10.A-4-3	374 MASS AVE UNIT 2	BACHANOWSKI JOHN S &	KIEWRA KARIN A	374 MASS AVE	UNIT 2	ARLINGTON	MA	02474
10.A-4-4	374 MASS AVE UNIT 3	LUSTIG DAVID &	TAO XIANGLONG	374 MASS AVE	UNIT 3	ARLINGTON	MA	02474
10.A-4-5	374 MASS AVE UNIT 4	THOMPSON FRED & QUINBY		31 WOODBURY ST		SOUTH PORTLAND	ME	04106
9.A-2-1	19 WYMAN TERR UNIT 1	WISE WILLIAM	GUERRERO ABEL	19 WYMAN TERR	UNIT 1	ARLINGTON	MA	02474
9.A-2-2	19 WYMAN TERR UNIT 2	ALBERT MAURA H & BLAIR LINDA J	TRS/ MAURA H ALBERT REVOCABLE	19 WYMAN TERR	UNIT 2	ARLINGTON	MA	02474
10.A-3-9	9--11 POND LN UNIT 9	SITOMER MARION		9 POND LN		ARLINGTON	MA	02474
10.A-3-11	9--11 POND LN UNIT 11	CREEDON PAUL A	CLUNIE PAIGE A	11 POND LN		ARLINGTON	MA	02474
10.A-5-1	46--48 POND LN UNIT 1	MORRISON LAI-KUEN & DONALD M		46 POND LN	UNIT 1	ARLINGTON	MA	02474
10.A-5-2	46--48 POND LN UNIT 2	RUSSELL KAREN J/ TRUSTEE	KAREN RUSSELL 2023 TRUST	46 POND LN	UNIT 2	ARLINGTON	MA	02474
10.A-3-16.1	16 AVON PL UNIT 1	CAPODANNO JILL & AMIE &	BLOUIN LYN	16 AVON PL	#1	ARLINGTON	MA	02474
10.A-3-16.2	16 AVON PL UNIT 2	SANDSTEDT DANIEL M &	CAPODANNO AMIE	16 AVON PL	#1	ARLINGTON	MA	02474
10.A-2-11.1	11 AVON PL UNIT 1	SCHWINGEL LOUISE	SCHWINGEL RICHARD E	11 AVON PL	UNIT 1	ARLINGTON	MA	02474
10.A-2-11.2	11 AVON PL UNIT 2	EZEKOWITZ ANDREW	LIU LIQUN	11 AVON PL	UNIT 2	ARLINGTON	MA	02474
9-1-6	16 WYMAN TERR	BURNHAM JAMES NEAL ETAL/ TRS	JAMES NEAL BURNHAM & SUSAN	16 WYMAN TERR		ARLINGTON	MA	02474
9-1-7	12--14 WYMAN TERR	14 WYMAN TERRACE LLC		98 RICHFIELD RD		ARLINGTON	MA	02474
9-2-2.A	0-LOT POND LN	TOWN OF ARLINGTON PARK DEPT		730 MASS AVE		ARLINGTON	MA	02476
9-2-4	360 MASS AVE	MULHERN ROBERT & TINA		360 MASS AVE		ARLINGTON	MA	02474
9-2-5	358 MASS AVE	PEEL RE LLC		358 MASS AVE		ARLINGTON	MA	02474
9-2-6	3 WYMAN TERR	NYBERG JONATHAN	DOLAN DAVID/SARA Q	P.O. BOX 292		ARLINGTON	MA	02476
9-2-7	9 WYMAN TERR	BOEHM BERNARD L/TRUSTEE	BERNARD BOEHM TRUST	9 WYMAN TERR		ARLINGTON	MA	02474
9-2-8	11--13 WYMAN TERR	SHEEHAN JOANNE M/ TRUSTEE	J.M.S. WYMAN TERRACE TR-2022	25 MORNINGSIDE DR		ARLINGTON	MA	02474
9-2-9	15--17 WYMAN TERR	SARGENT ENRAKU &	SAU ANNA	242 WESTON RD		WELLESLEY	MA	02482
9.A-2-3	19 WYMAN TERR UNIT 3	MACLEOD AMY & GLEN A ETAL/ TRS	AMY MACLEOD REVOCABLE TRUST OF	19 WYMAN TERR	UNIT 3	ARLINGTON	MA	02474
9-2-11	21 WYMAN TERR	SPY POND LLC		21 WYMAN TER		ARLINGTON	MA	02474
9-2-12	25--27 WYMAN TERR	CHASSE MARY		25 WYMAN TERR		ARLINGTON	MA	02474
9-3-1	0-LOT POND LN	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
9.A-2-10	12 POND LN UNIT 10	LI HUIMING	ZENG YUANCHUN	17 JUSTIN ST		LEXINGTON	MA	02420
9.A-2-12	12 POND LN UNIT 12	KE YUE	MENG YUXI	11 OCTOBER LN		WESTON	MA	02493
9.A-2-20	12 POND LN UNIT 20	WONG CHING-WAH		5 CONCORD AVE	UNIT 52	CAMBRIDGE	MA	02138
9.A-2-21	12 POND LN UNIT 21	LIMANI FATON	URUCI-LIMANI GERTA	34 ROCKLAND AVE		ARLINGTON	MA	02474
9.A-2-22	12 POND LN UNIT 22	BUCK JAMES W		12 POND LN	UNIT 22	ARLINGTON	MA	02474
9.A-2-23	12 POND LN UNIT 23	SPITZKOFF CRAIG		31 BROKEN TREE RD		NEWTON	MA	02459
9.A-2-24	12 POND LN UNIT 24	ZENG FENG	JIANG BOLAN	12722 KINSLEY CT		SAN DIEGO	CA	92129
9.A-2-25	12 POND LN UNIT 25	LOADWICK GEORGE J		12 POND LN	UNIT 25	ARLINGTON	MA	02474
9.A-2-26	12 POND LN UNIT 26	WEN CHIN KUEI/TR	WEN SHIAO MOON LEE/TR	294 GLEN RD		WESTON	MA	02493
9.A-2-27	12 POND LN UNIT 27	HANSON WILLIAM J & LORRAINE P/ TRS	KIRSTEN L HANSON TRUST	8 SANDY RIDGE RD		STERLING	MA	01564

**CERTIFIED ABUTTERS LIST****Date: September 24, 2024****Subject Property Location: 20 POND LN Arlington, MA****Subject Parcel ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
9.A-2-30	12 POND LN UNIT 30	ARLINGTON REAL ESTATE TRUST		C/O CHING-WAH WONG	5 CONCORD AVE #52	CAMBRIDGE	MA	02138
9.A-2-31	12 POND LN UNIT 31	ROSSIEN ANITA W/TRUSTEE	AR12 POND LAND REALTY TRUST	12 POND LN	#31	ARLINGTON	MA	02474
9.A-2-32	12 POND LN UNIT 32	KUNSMAN CHARLES		12 POND LN	UNIT 32	ARLINGTON	MA	02474
9.A-2-33	12 POND LN UNIT 33	MERRILL DONALD A/TRUSTEE	LUCAS ANNE MARIE/TR	12 POND LN	UNIT 33	ARLINGTON	MA	02474
9.A-2-34	12 POND LN UNIT 34	SAWANT MIHIR PREMSING		12 POND LN	UNIT 34	ARLINGTON	MA	02474
9.A-2-35	12 POND LN UNIT 35	GORKA CAROLYN		12 POND LN	UNIT 35	ARLINGTON	MA	02474
9.A-2-36	12 POND LN UNIT 36	JOHNSON DAVID H/ TRUSTEE	DAVID H JOHNSON TRUST	25 THORNTON WAY	APT 305	BRUNSWICK	ME	04011
9.A-2-37	12 POND LN UNIT 37	YANNAKEAS ELIAS/TRUSTEE	YANNAKEAS REALTY NOMINEE TRUST	119 YDRAS ST	KALAMATA	MESSINIAS GREECE		24100
9.A-2-40	12 POND LN UNIT 40	LI RUI		70 ALBERT AVE		BELMONT	MA	02478
9.A-2-41	12 POND LN UNIT 41	BORGERS CHRISTOPH	WONG AMY O	12 CHERRY ST		LEXINGTON	MA	02421
9.A-2-42	12 POND LN UNIT 42	SANTIAGO CARRIE		12 POND LN	APT 42	ARLINGTON	MA	02474
9.A-2-43	12 POND LN UNIT 43	DRUM LLC		190 CUTLERS FARM RD		MONROE	CT	06468
9.A-2-44	12 POND LN UNIT 44	PARUCHURU RAJANY		16 PLEASANT ST		NEEDHAM	MA	02492
9.A-2-45	12 POND LN UNIT 45	BOND EDITH G		12 POND LN	UNIT 45	ARLINGTON	MA	02474
9.A-2-46	12 POND LN UNIT 46	PATEL PRAFUL V		135 MYSTIC ST		ARLINGTON	MA	02474
9.A-2-47	12 POND LN UNIT 47	FAITH EDWARD P		12 POND LN	UNIT 47	ARLINGTON	MA	02474
9.A-2-50	12 POND LN UNIT 50	BREITENBACH MARIE		12 POND LN	#50	ARLINGTON	MA	02474
9.A-2-51	12 POND LN UNIT 51	LIN CHUAN	CAO HUAIGU	10 PEARL ST		LEXINGTON	MA	02420
9.A-2-52	12 POND LN UNIT 52	DIBELLO PAUL	COLONESE DAWN	12 POND LN	UNIT 52	ARLINGTON	MA	02474
9.A-2-53	12 POND LN UNIT 53	KIM MIN		12 POND LN	UNIT 53	ARLINGTON	MA	02474
9.A-2-54	12 POND LN UNIT 54	BEST AMY JOAN TORRES &	GARCIA JIMMY ANTONIOTORRES	12 POND LN	#56	ARLINGTON	MA	02476
9.A-2-55	12 POND LN UNIT 55	WONG WAH CHING EDITH		5 CONCORD AVE	#52	CAMBRIDGE	MA	02138
9.A-2-56	12 POND LN UNIT 56	BEST AMY JOAN TORRES &	GARCIA JIMMY ANTONIO TORRES	12 POND LN	#56	ARLINGTON	MA	02476
9.A-2-57	12 POND LN UNIT 57	LIU GUIZHONG & XIAOSHA		12 POND LN	UNIT 57	ARLINGTON	MA	02474
9.A-2-60	12 POND LN UNIT 60	HACHEY JEAN N		12 POND LN	#60	ARLINGTON	MA	02474
9.A-2-61	12 POND LN UNIT 61	CHARINOS MARIA		71 ATTHIDON STR	KALLITHEA ATHENS	GREECE		17672
9.A-2-62	12 POND LN UNIT 62	DE MONTIGNY WILLIAM		12 POND LN	UNIT 62	ARLINGTON	MA	02474
9.A-2-63	12 POND LN UNIT 63	BAE STELLA	KIM WONTAK	111 ROBBINS RD		WATERTOWN	MA	02472
9.A-2-64	12 POND LN UNIT 64	FERGUSON HOWARD		12 POND LN	UNIT 64	ARLINGTON	MA	02474
9.A-2-65	12 POND LN UNIT 65	DAVIDOW RACHEL B		12 POND LN	UNIT 65	ARLINGTON	MA	02474
9.A-2-66	12 POND LN UNIT 66	HESTIA PROPERTIES LLC		21 AVON PL		ARLINGTON	MA	02474
9.A-2-67	12 POND LN UNIT 67	KILICK MAORI M--ETAL	KILICK KATHLEEN A	12 POND LN	#67	ARLINGTON	MA	02474
9.B-1-101	366 MASS AVE UNIT 101	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-102	366 MASS AVE UNIT 102	EYE ASSOCIATES REALTY		172 CAMBRIDGE ST		BURLINGTON	MA	01803
9.B-1-103	366 MASS AVE UNIT 103	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143

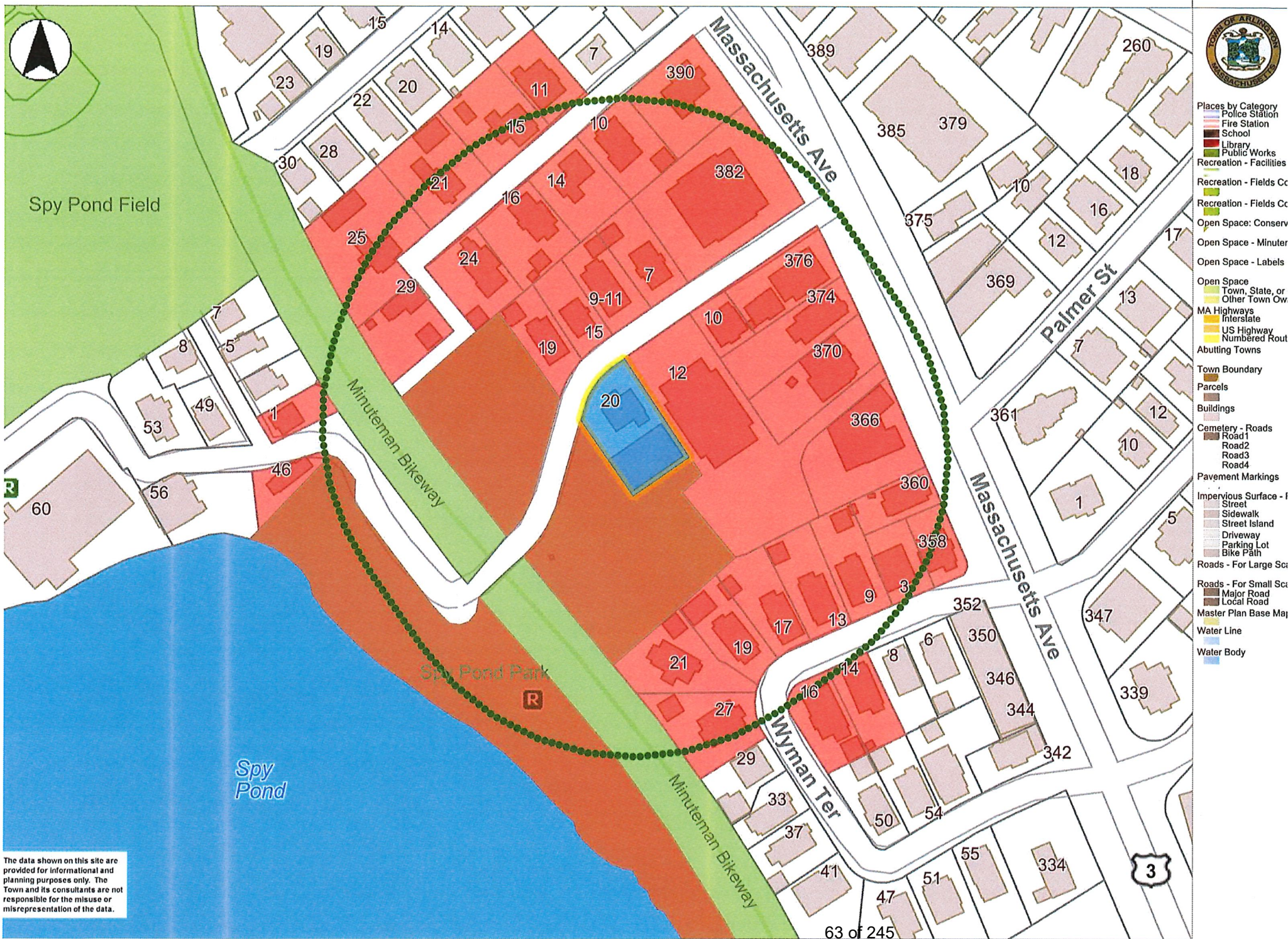
**CERTIFIED ABUTTERS LIST****Date: September 24, 2024****Subject Property Location: 20 POND LN Arlington, MA****Subject Parcel ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
9.B-1-201	366 MASS AVE UNIT 201	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-202	366 MASS AVE UNIT 202	MASS ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-203	366 MASS AVE UNIT 203	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-204	366 MASS AVE UNIT 204	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-301	366 MASS AVE UNIT 301	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-302	366 MASS AVE UNIT 302	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-303	366 MASS AVE UNIT 303	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-304	366 MASS AVE UNIT 304	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
10-2-5	15 AVON PL	BURKE PAUL M & JENNIFER ROSE		659 MASS AVE		ARLINGTON	MA	02474
10-2-6	19 AVON PL	LOGAN MICHAEL J/ ELISABETH	TRS/LOGAN REAL ESTATE TRUST	19 AVON PL		ARLINGTON	MA	02474
10-2-7	25 AVON PL	SMITH SCOTT J/HEATHER A		25 AVON PL		ARLINGTON	MA	02474
10-2-8	29 AVON PL	AVONSTEAD LLC		3 DICKSON ST		SOMERVILLE	MA	02144
10-3-1	390 MASS AVE	KOZELIAN JOHN & SILVA N/ TRS	KOZELIAN REVOCABLE TRUST	8 CHESWICK RD		ARLINGTON	MA	02474
10-3-2	382--384 MASS AVE	CEDAR CREST ARLINGTON LLC		382 MASS AVE		ARLINGTON	MA	02474
10-3-4	7 POND LN	ROZZI PANFILO E		87 CLARK ST		BELMONT	MA	02478
10-3-6	15 POND LN	SIMADER MICHAEL & MELISSA		15 POND LN		ARLINGTON	MA	02474
10-3-7	19 POND LN	SULLIVAN JAMES	SULLIVAN CHRISTINE	19 POND LN		ARLINGTON	MA	02474
10-3-8	21 POND LN	TOWN OF ARLINGTON		730 MASS AVE		ARLINGTON	MA	02476
10-3-9	22--24 AVON PL	SAYIGH SOPHIA E/ TRUSTEE	SOPHIA E SAYIGH TRUST	24 AVON PL		ARLINGTON	MA	02474
10-3-11	12--14 AVON PL	HARDING LORI/GARY S		PO BOX 1111		WESTFORD	MA	01886
10-3-12	8--10 AVON PL	GNEWUCH CHRISTINA & SCOT C		10 AVON PL		ARLINGTON	MA	02474
10-4-1.A	378 MASS AVE	CONNELY CONTRACTING INC		378 MASS AVE		ARLINGTON	MA	02474
10-4-1.B	10 POND LN	KEEFE KATHERINE G & ROBERT		10 POND LN		ARLINGTON	MA	02474
10.A-4-2	374 MASS AVE UNIT 1	MANTY WILLIAM/TRACY YUEN		374 MASS AVE	UNIT 1	ARLINGTON	MA	02474
10-4-3	370 MASS AVE	ARLINGTON POST NO 39	THE AMERICAN LEGION INC	370 MASS AVE		ARLINGTON	MA	02474
10-4-5.A	20 POND LN	POND LANE REALTY LLC		C/O NICHOLAS BOIT	32 HARBOUR DR N	OCEAN RIDGE	FL	33435
10-5-4	1 POND TERR	REYNOLDS STEPHEN/ETAL	WANAMAKER LISA M	1 POND TERR		ARLINGTON	MA	02474

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 Feet



Town of Arlington
Office of The Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
phone: 781.316.3050
email: assessors@town.arlington.ma.us



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
- Recreation - Fields Cc
- Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
- Town, State, or Other Town Ow
- MA Highways
- Interstate
 - US Highway
 - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
 - Buildings
- Cemetery - Roads
- Road1
 - Road2
 - Road3
 - Road4
- Pavement Markings
- Impervious Surface - I
- Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
- Roads - For Large Sci
- Roads - For Small Sci
- Major Road
 - Local Road
- Master Plan Base Maj
- Water Line
- Water Body



Outlook

Comments on docket #3822 – 20 Pond Lane

From Paul Creedon <pacreedon@gmail.com>

Date Sun 10/20/2024 6:30 PM

To ZBA <ZBA@town.arlington.ma.us>; Paige Clunie <paclunie@gmail.com>

 3 attachments (10 MB)

IMG_5400.HEIC; IMG_5399.HEIC; IMG_5401.HEIC;

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Arlington Zoning Board of Appeals Members,

We write to express our strong opposition to docket #3822 – 20 Pond Lane, appearing before the board on October 22, 2024. We reside at 9-11 Pond Lane, unit 11 with our two young children. We have lived at this residence since September 2019.

Pedestrian Safety & Impact on Traffic

We are concerned that commercial activity at 20 Pond Lane will make our neighborhood less safe by increasing traffic and blocking pedestrian access to Spy Pond, the Minuteman bike path, the Boys and Girls Club, and Spy Pond Field. The stretch of Pond Lane that runs from Massachusetts Ave to Spy Pond has no legal street parking. However, private and commercial vehicles often park on the sidewalk, blocking pedestrian access.

When we first moved to the neighborhood, a commercial cleaning company operated from the garage at 20 Pond Lane. Each morning, several vans would idle in the driveway and on the sidewalk as they loaded supplies. The impact on pedestrians was minor at 6 AM, but we were forced to walk on the road as we walked our dog. The concern is that a future commercial business would introduce similar sidewalk obstructions later in the day, forcing pedestrians onto the busy road.

Unfortunately, Arlington's Parking Enforcement Officers are not empowered to regulate parking on residential streets. As residents, our only recourse is to contact the Arlington Police non-emergency number. Consequently, traffic regulations are not enforced in residential areas. Out of convenience, delivery drivers, landscapers, and other commercial operators may park on the sidewalk and in front of "no parking" signs without consequence.

To this point, at approximately 8 AM on Tuesday, October 15, 2024, three large moving trucks arrived on Pond Lane to move items out of the residential units at 20 Pond Lane. The trucks blocked traffic as they attempted to navigate the narrow road. Ultimately, the trucks parked along the street, blocking the sidewalk as students made their way to school. As you can see from the attached pictures, the sidewalk was fully blocked. Cyclists were forced into oncoming traffic. These traffic violations were caused by the

moving company, not the petitioner. However, this demonstrates the impact that increased commercial activity will have on our neighborhood.

Approving this application will lead to increased commercial traffic and make our neighborhood less safe for pedestrians, cyclists, and drivers.

Impact of "Light" Commercial Activity

From our reading of the application, the petitioner intends to sell this property once they receive Zoning Board of Appeal approval to allow for "storage of commercial vehicles and equipment, office use, and proposed light construction work to be performed inside of the garage." We are concerned that the new owners may interpret this definition to fit their needs. This would have several negative impacts on the neighborhood:

1. Noise: As far as we are aware, "light construction" is not defined in the application or within Arlington's Zoning Bylaw. The new property owner could interpret this definition to include any number of construction activities. Could the garage be used for metal working, machine assembly, or commercial woodworking? These activities would negatively impact our neighborhood by introducing the constant sound of construction and pollution.
2. Environmental Impact: What would prevent a future owner from storing harmful chemicals onsite? What safeguards are in place to prevent harmful exhaust from entering our neighborhood?

As the residents living across the street from 20 Pond Lane, we—not the petitioner—are the ones who will have to live with the consequence of whatever future commercial ventures purchase the property. We strongly urge the Zoning Board of Appeal to reject this application.

Best regards,
Paul Creedon & Paige Clunie
11 Pond Lane









Outlook

Comments Against the Expansion of Commercial Use at 20 Pond Lane

From Simader, Michael <michael@simader.me>

Date Sun 10/20/2024 1:33 PM

To ZBA <ZBA@town.arlington.ma.us>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of the Zoning Board of Appeals,

I am writing to express my strong opposition to the expansion of commercial use at 20 Pond Lane. My name is Michael Simader and together with my wife Melissa Simader, I am the co-owner of the property directly across the street at 15 Pond Ln, Arlington, MA 02474.

Regarding the most recent application of the property owner at 20 Pond Lane I hereby submit my key concerns and express my opposition to the expansion of commercial use at this property.

Position Against the Expansion of Commercial Use at 20 Pond Lane

1. Scope of Special Permit:

- The original special permit issued in 1963 aimed to conceal commercial vehicles and equipment from view, maintaining a tidy appearance.
- Over the years, the use of the property went beyond the originally approved scope by the Zoning Board of Appeals (ZBA).
- Unauthorized uses include:
 - Operation as an auto body shop and mechanic business.
 - Storage of materials for a cleaning business.
 - The use as a woodworking shop.
- The undefined nature of "light construction work" raises concerns about future interpretations that could lead to further expanding the scope affecting nearby residents negatively.

2. Public Convenience and Welfare:

- The petitioner has not provided evidence that the expanded commercial operation will benefit the public. The original intent of the garage was primarily aesthetic—to hide commercial activities.
- The request to increase scope to include "light" construction lacks clear limits on both the nature of the work and hours of operation, presenting risks of noise, dust, smell, and other disturbances.
- The expansion appears to prioritize the petitioner's financial gain rather than community welfare, without offering any benefits. The expansion only has negative effects on the community with:
 - Increased traffic and resulting hazards
 - Dangerous conditions by maneuvering large commercial vehicles in an area with increased foot traffic.
 - Uncontrolled and unmitigated conditions for the storage, use, and processing of hazardous materials.

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- The petitioner is applying for an expanded scope of the special permit for a potential buyer of the property and not for their use. This expanded use is for the benefit of the petitioner, the seller of this property, and the petitioner alone, leaving only negative side effects to nearby residents.
- Given a history of violating the scope of the special use permit in this location, the future buyer cannot be trusted to limit their use of the property to the scope of the special permit.

3. Environmental and Infrastructure Concerns:

- The operation of an auto body and repair shop has already posed risks to the environment, particularly regarding spills that could contaminate storm drains leading to Spy Pond.
- Current regulations regarding water treatment, air filtration, and hazardous materials have evolved since 1963, necessitating a more stringent review of the potential impacts on public water sources.
- The petitioner highlights that there won't be any changes to the structure. There haven't been any upgrades to the structures aside from cosmetic improvements in the past.
- The structure's design and permitting were intended to store commercial equipment out of plain sight.
- The intention was NOT to operate machinery and handle potentially hazardous materials.
- Therefore the structure is inadequate for proposed uses. Outstanding concerns are, not limited to, air filtration systems, wastewater management, and safe working conditions for workers.

4. Impact on Neighborhood Character:

- The application contains inconsistencies, particularly in proposing uses not aligned with the garage's historical function or previously approved permits.
- The previously unauthorized use as an auto body and repair shop represents a violation of the original intent of the permit and sets a concerning precedent for future expansions.
- The applicant's intention to broaden the scope appears primarily motivated by personal financial interests rather than community benefits, which can only alter the character of the neighborhood negatively.

5. Traffic and Safety Implications:

- Existing traffic issues, exacerbated by nearby recreational facilities and a daycare, could worsen with additional commercial activities.
- The potential increase in commercial vehicle traffic poses risks to pedestrian safety, particularly given the current traffic conditions.
- 2 recent incidents are reason enough to reject this application:
 - A tourist bus collided with the pedestrian overpass. This is a clear indication that the street is neither designed nor laid out for commercial traffic.
 - Moving trucks were not able to maneuver into the driveway of the petitioner. As a result, the trucks were parked on the adjoining sidewalks, blocking pedestrians and traffic.
 - What will the future look like when additional commercial vehicles cannot maneuver in or out of the driveway?

6. Recommendations for ZBA Consideration:

- **Reject the petitioner's application for the expanded use. The existing special permit should not be further expanded by commercial uses within this residential neighborhood**

With kindest regards,

70 of 245

Michael Simader

--

Michael Simader

+1 312 918-7184

LI [in/simader](#)

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22nd Floor
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dtroyer@pierceatwood.com
www.pierceatwood.com

Admitted in: MA

December 2, 2024

VIA ONLINE PORTAL FILING
AND EMAIL (zba@town.arlington.ma.us)

Town of Andover - Zoning Board of Appeals
51 Grove Street
Arlington, MA 02476
ATTENTION: Colleen Ralston

Re: 3822 20 Pond Lane

Dear Honorable Members of the Zoning Board of Appeals:

As you are aware, this office represents Pond Lane Realty, LLC (“Applicant”) in connection with the above-referenced Application for Special Use Permit before the Zoning Board of Appeals. A public hearing on my client’s application was held on October 22, 2024 and continued to November 12, 2024 and December 10, 2024.

During the October 22, 2024 public hearing, the Board requested the Applicant to provide additional information and materials including in support of its application. The Applicant is still working of obtaining the necessary information and respectfully requests that the Board continue the December 10, 2024 public hearing to an available hearing date for the Board in January 2025. The Applicant needs additional to obtain and review the site plan and prepare its supplemental information and materials to be submitted to the Board. The Applicant is aware that any materials that it intends to submit prior to the continued hearing date will need to be filed with the Board 7 days prior to the rescheduled hearing.

Please advise if our attendance is necessary at the December 10, 2024 hearing to seek this continuance.

December 2, 2024

Page 2

Thank you for your attention to this matter, and please do not hesitate to contact me should you have any questions or require any additional information concerning this request.

Very truly yours,

Douglas A. Troyer

Douglas A. Troyer

cc: Nick Boit (via email only)
Christian Klein (via email onlycklein@town.arlington.ma.us)

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www.pierceatwood.com

Admitted in: MA

January 7, 2025

VIA ONLINE PORTAL FILING
AND EMAIL (zba@town.arlington.ma.us)

Town of Andover - Zoning Board of Appeals
51 Grove Street
Arlington, MA 02476
ATTENTION: Colleen Ralston

Re: ZBA Case # 3822 20 Pond Lane

Dear Honorable Members of the Zoning Board of Appeals:

As you are aware, this office represents Pond Lane Realty, LLC (“Applicant”) in connection with the above-referenced Application for Special Use Permit before the Zoning Board of Appeals. A public hearing the Applicant’s application was held on October 22, 2024 and continued to January 14, 2025.

The Applicant’s mother passed away on January 6, 2025 and is unable to attend the hearing next week and respectfully request that the Board continue the January 14, 2025 public hearing to a date and time in February 2025. The Applicant is aware that any materials that it intends to submit prior to the continued hearing date will need to be filed with the Board 7 days prior to the rescheduled hearing.

Please advise if our attendance is necessary at the January 14, 2025 hearing to seek this continuance.

Thank you for your attention to this matter, and please do not hesitate to contact me should you have any questions or require any additional information concerning this request.

Very truly yours,

Douglas A. Troyer

Douglas A. Troyer

January 7, 2025

Page 2

cc: Nick Boit (via email only)
Christian Klein (via email only onlycklein@town.arlington.ma.us)

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Admitted in: MA

February 4, 2025

VIA ONLINE PORTAL FILING
AND EMAIL (zba@town.arlington.ma.us)

Town of Andover - Zoning Board of Appeals
51 Grove Street
Arlington, MA 02476
ATTENTION: Colleen Ralston

Re: ZBA Case # 3822 20 Pond Lane

Dear Honorable Members of the Zoning Board of Appeals:

As you are aware, this office represents Pond Lane Realty, LLC (“Applicant”) in connection with the above-referenced Application for Special Use Permit before the Zoning Board of Appeals. A public hearing the Applicant’s application was held on October 22, 2024 and continued to February 11, 2025.

The Applicant has recently entered into a P&S Agreement to sell the property and is looking to supplement its application with the information requested by the Board at the first Public Hearing in this matter along with information concerning the potential buyer of the property and its intended use of the commercial garage. Therefore, the Applicant respectfully request that the Board continue the February 11, 2025 public hearing to a date and time in March 2025. The Applicant is aware that any materials that it intends to submit prior to the continued hearing date will need to be filed with the Board 7 days prior to the rescheduled hearing.

Please advise if our attendance is necessary at the February 11, 2025 hearing to seek this continuance.

February 4, 2025

Page 2

Thank you for your attention to this matter, and please do not hesitate to contact me should you have any questions or require any additional information concerning this request.

Very truly yours,

Douglas A. Troyer

Douglas A. Troyer

cc: Nick Boit (via email only)
Christian Klein (via email onlycklein@town.arlington.ma.us)

PIERCE ATWOOD &
TOWN CLERK
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2025 FEB 12 PM 2:22

DOUGLAS A. TROYER

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Admitted in: MA

February 10, 2025

VIA ONLINE PORTAL FILING
AND EMAIL (zba@town.arlington.ma.us)

Town of Andover - Zoning Board of Appeals
51 Grove Street
Arlington, MA 02476
ATTENTION: Colleen Ralston

Re: ZBA Case # 3822 20 Pond Lane

Dear Honorable Members of the Zoning Board of Appeals:


Pursuant to Pond Lane Realty, LLC's February 4, 2025 request to continue the February 11, 2025 public hearing in the above-referenced matter to a date and time in March 2025, the Applicant waives the statutory time constraints the Zoning Board of Appeals may have regarding the above-mentioned project through April 21, 2025.

Douglas A. Troyer

Signature of applicant or authorized representative
Douglas A. Troyer
Counsel to Applicant.

cc: Nick Boit (via email only)
Christian Klein (via email only cklein@town.arlington.ma.us)

Approved by Danimars Vitz.

 02/11/25

**SUPPLEMENTAL MEMORANDUM IN SUPPORT OF SPECIAL USE PERMIT
APPLICATION**

To: Town of Arlington – Zoning Board of Appeals
From: Douglas A. Troyer, on behalf of Pond Lane Realty, LLC
Re: ZBA Case # 3822
20 Pond Lane, Arlington, MA - Special Use Permit Application
Parcel Id No. 10-4-5.A
Date: March 4, 2025

Dear Honorable Members of the Zoning Board of Appeals:

This Supplemental Memorandum is submitted to the Town of Arlington Zoning Board of Appeals (hereinafter the “ZBA” or “Board”) on behalf of our client, Pond Lane Realty, LLC (“Applicant”) in support of its Application for Special Use Permit pursuant to Sections 8.1.1(A) and 3.3 of the Town of Arlington Zoning Bylaws (the “Bylaw”) to continue the use of the existing commercial garage for commercial office use, storage of vehicles and equipment, and ability to perform minor maintenance to vehicles and equipment within the garage at the property located at 20 Pond Lane, Arlington, MA (“Property”).

As the ZBA is aware, the public hearing in this matter opened on October 22, 2024 and has been continued on multiple occasions to March 11, 2025. The ZBA has requested the Applicant to provide the following additional information:

- Lot Coverage = 9,678 sq ft (48% Pre-existing non-conforming – no change).
- Yard Setbacks
 - (Left) 1.5’ Garage – Pre-existing non-conforming – no change)
 - (Right) 3.3’ Garage – Pre-existing non-conforming – no change)
 - (Rear) 1.5’ Garage – Pre-existing non-conforming – no change)
- Usable Open Space Area = 0 (Pre-existing non-conforming – no change)
- Landscaped Open Space Area and Percentage- $9,678-6821/9678 = 29.5\%$ (Pre-existing non-conforming – no change)

- Number of Parking Spaces = 12 (10 inside garage) 2 (off-side parking)
- Number of Loading Spaces = 0 ((Pre-existing non-conforming – no change)

See Copy of Plot Plan of Land Prepared by Paul J. Finocchio P.L.S. of PJF & Associates, dated November 26, and attached hereto as **Exhibit “1”**).

Additionally, since the last public hearing on this matter, the Applicant has entered into a P&S Agreement with John and Karen Wheatley (“Wheatley”) which a potential closing date in April 2025. The sale of the Property is contingent upon the parties’ ability to obtain the necessary confirmation and/or necessary permitting for the Wheatley’s use of the existing commercial garage for commercial office use, storage of vehicles and equipment, and ability to perform minor maintenance to company owned vehicles and equipment within the garage at the Property.

John Wheatley is owner of RW Shattuck and Company, Inc (“RW Shattuck”) which was founded in 1857 and is the oldest business in Arlington. As I am sure the Board is aware, RW Shattuck operates numerous hardware stores in the area. Over the last decade, RW Shattuck, has acquired the Arlington Heights Wanamaker True Value Hardware store and the Lexington Ace Hardware store and now operates three (3) stores in the Arlington-Lexington areas.

Wheatley is interested in the Property for the use of its garage as a facility for the extra storage of goods and materials for RW Shattuck’s locations. Primarily it is expected that the storage of palletized product or large boxes containing items such as snowblowers or lawn mowers, ice melt, salt, sand, concrete products, fertilizers, power equipment will be made within the existing garage at the Property. There will be a forklift on site which will be used to bring product in and out of the garage. The product will be delivered mostly by pickup and small commercial trucks.

Additionally, the ability to store personal and company vehicles at the site and conduct minor onsite maintenance on company owned vehicles within the garage area is sought. There is no interest to operate an auto repair shop out of the garage as it had previously been used. Also, this site is not expected to be used on a daily basis as its function is to store extra materials for the hardware business during busy seasons and employees will be onsite on as needed basis.

Thus, the Applicant has updated its original application now that the specific use and uses have been identified and provides the following updated information in further support of its application.

I. FACTUAL BACKGROUND

The Property is located in the Town’s R-2 Zoning District and is classified as a residential/commercial property containing approximately 9,678 sq ft. with a 4,418 sf ft two-family residence and a 3,375 sq. ft. commercial garage located on the Property. (See Property Card attached Applicants’ September 12, 2024 Memorandum in Support of Special Use Permit

Application (“Original Filing”) as **Exhibit “A”**). This application continues to pertain to the use of the existing commercial garage located on the Property only.

The Applicant purchased the Property from Edward C. Simonian, Trustee of the Philip Simonian Realty Trust on October 26, 2015. (See copy of Deed recorded with the Middlesex South Registry of Deeds in Book 66280, Page 526 attached to the Original Filing as **Exhibit “B”**). From 1963 to the present, the garage located on the Property has been used for commercial purposes. The Applicant has entered into a P&S Agreement with the John and Karen Wheatley and prior to filing this application the Applicant was instructed by the Inspectional Services Director that a special use permit from the ZBA may be necessary. Thus, the Applicant supplements this application to clarify that the use of the commercial garage for office, storage of vehicles and equipment, and ability to perform minor maintenance to vehicles and equipment within the garage at the Property is a legal current use of the commercial garage, and if necessary, to request a special use permit for the continuance of the pre-existing non-conforming commercial use. No changes are being made to the Property or to the existing buildings located on the Property.

A copy of the existing conditions Plot Plan is attached to the Original Filing as **Exhibit “C”**.

HISTORY OF THE COMMERCIAL USE OF THE PROPERTY

1. In June of 1961 Philp and Margaret Simonian purchased the Property, which at that time only contained the residential structure.
2. Mr. Simonian was the owner of State Coal & Oil Co., and from the summer of 1961 to 1963 used the Property to store commercial vehicles and equipment for his business.
3. In or around May of 1963, Mr. Simonian sought a variance from the ZBA due to a decision of the then Inspector of Buildings concerning the Inspector’s refusal to issue a building permit for the construction of a commercial garage at the Property as such use was in violation of Section 14 of the Zoning Bylaws in effect at that time. Mr. Simonian was seeking to construct the garage to house his commercial vehicles and equipment and operate his business from the garage.
4. Public hearings were held in May of 1963 and the ZBA issued a decision in ZBA Case #779 permitting the construction of the commercial garage for his business and to be used for storage of commercial vehicles and equipment of Mr. Simonian’s fuel business on the Property. (See **Exhibit D** attached to the Original Filing).
5. Subsequent to the ZBA’s decision, Mr. Simonian constructed the commercial garage on the Property. The garage consists of a flat-roof cinder block structure that is 45’ wide and 75’ long (3,375 sq. ft.) and 14’ in height. The garage contains a large storage space area, office for business operations, a mezzanine storage area and two bathrooms for employees.

(Copies of photos taken in 2011 attached to the Original Filing as **Exhibit “E”** show the garage as originally constructed).

6. In July of 1965, Mr. Simonian filed a petition with the ZBA seeking permission to further rent the commercial garage located on the Property for business use. At that time, Mr. Simonian was using a small portion of the garage for his company’s business office but was no longer using the remainder of the space in the garage. Mr. Simonian sought permission to rent the remaining space in the garage to a commercial business involved in industrial truck batteries and battery charging devices for the operation of their business and storage of their vehicles and equipment. The ZBA granted the petition permitting the requested use at the Property. (See ZBA Case #959 attached to the Original Filing as **Exhibit “F”**).

7. Subsequent to 1963, the ownership of the Property was conveyed amongst Mr. Simonian’s family. In 1978 Mr. and Mrs. Simonian conveyed ownership of the Property to the Philip Simonian Realty Trust. In 1990 and again in 2004 the Property was conveyed to the Successor Trustees of the Philip Simonian Realty Trust.

8. From 1963 to 2015, the Simonian Family continued to rent out the garage for commercial uses and an auto body shop and auto mechanic business operated out of the garage during the majority of this time period. (See **Exhibit E** attached to the Original Filing).

9. On October 26, 2015, the Applicant purchased the Property. (See **Exhibit B** attached to the Original Filing). At that time the auto body shop stopped operating out of the garage and Arlington Motor Mart remained as a tenant of the Applicant and continued to perform auto repair work at the Property until 2020.

10. Additionally, from October 2015 to end of 2022, the Applicant’s prior property management company, Barrington Management Company and Brigs LLC, used a portion of the garage for its maintenance division for the storage of materials, use as a woodworking shop, and parking for commercial vehicles. The Applicant further rented the garage to Flagship Cleaning Services, later renamed Syntegra, a commercial cleaning company who also used the garage for storage of materials and supplies, storage of commercial cleaning vehicles and used the office in the garage for its main office for operations.

11. The Applicant has replaced the roof on the garage and performed some interior work to clean-up the garage storage area, office, and restrooms. In 2019, the Applicant painted the garage while doing renovation work to the residential structure on the Property. (See photos attached to the Original Filing as **Exhibit “G”**).

12. In or around late 2022 to the Spring of 2023, the Applicant continued to perform maintenance work to the Property and contacted the Director of the Recreational Commission concerning the creation a buffer area between the Property and the abutting Town Property. The Town currently rents its land to Arlington/Belmont Crew organization who uses the Town’s property to store its recreational boats and equipment. In the Spring of 2023, the Recreational Commission approved work allowing the Applicant to remove certain pavement and install a

landscape buffer consisting of stone gravel, and several hedges and trees on the boundary line separating and creating a buffer area between the properties. (See **Exhibit C** and copies of photos of the existing conditions at the site along with photos showing the interior of the garage attached to the Original Filing as **Exhibit “H”**).

13. From 2022 to December 2023 the garage was used by Buffington, LLC, a real estate management company for use as a maintenance facility, site of operations and parking of commercial vehicles and equipment. The Applicant is currently considering placing the Property on the market and is considering his options concerning the continued commercial operations for the garage.

14. Thus, from the garage’s initial construction in 1963 to the present, the garage has been used for commercial operations for office use, storage of and maintenance of vehicles and equipment by the owner of the Property and by its tenants. The Applicant seeks permission to continue such uses and further seeks clarification that should the Property be sold that any subsequent owner would be able to use the garage in the same historical manner.

I. REQUEST FOR SPECIAL USE PERMT AND FINDING THAT THE PRE-EXISTING NON-CONFORMING USE OF THE GARAGE FOR STORAGE OF COMMERCIAL VEHICLES AND EQUIPMENT AND LIGHT CONSTRUCTION WORK SHALL NOT BE SUBSTANTIALLY MORE DETRIMENTAL THAN THE EXISTING NON-CONFORMING USE TO THE NEIGHBORHOOD.

Relevant portions of Section 8.1.1(A) of the Bylaws provides as follows:

Except as provided in this Section, this Bylaw shall not apply to structures or uses lawfully in existence or lawfully begun, or to a building permit or special permit issued before the first publication of notice of the public hearing on this Bylaw (December 14, 2017)... Pre-existing nonconforming structures or uses may be extended or altered, provided, that no such extension or alteration shall be permitted unless there is a finding by the Board of Appeals that such change, extension or alteration shall not be substantially more detrimental than the existing nonconforming structure or use to the neighborhood.

It is the Applicant’s position that the proposed continued use of the garage at the Property shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. Furthermore, the Applicant states that as provided in more detail below, its pending Application for Special Use Permit meets the criteria set forth in Section 3.3.3 of the Bylaw as follows:

1. The Requested Use is Essential or Desirable to the Public Convenience and Welfare:

Since its construction in 1963 the commercial use of the garage on the Property has been for the storage of commercial vehicles and equipment along with office use, auto body work and auto repair work. The Applicant's request to continue the use of the garage for the storage of commercial vehicles and equipment, office use, and perform minor maintenance to owner vehicles and equipment within the garage at the Property is consistent with the historical use of the garage and is in fact less intrusive than when the garage was used as an auto body shop and auto repair shop. The use is consistent with other uses in the neighborhood as the abutting Town property is being used for the storage of recreational equipment for the Arlington/Belmont Crew organization who stores their vehicles, trailers, crew boats, and other equipment on the Town property.

As the Property is fully developed - there are no changes proposed to the garage structure, driveway, drainage, utilities or other infrastructure servicing the Property - and the requested use is consistent with what has historically been used at the Property, the requested commercial use of the garage will continue to fit seamlessly with the community and neighborhood.

2. The Requested Use Will Not Create Undue Traffic Congestion, or unduly Impair Pedestrian Safety:

The Applicant states that the proposed project will not involve any changes to the driveway or parking area on the Property. Additionally, there are no proposed changes to the traffic flow, access, parking and pedestrian circulation that has been in existence at the Property for over 61 years. The Applicant anticipates that in addition to 2 vehicles parking in the driveway for the residential use for the Property, that 2-3 employees will be on site when needed and small commercial vehicles and pickup trucks will be used on site with ample storage and up to 10 parking spots available inside of the garage.

Therefore, because there no changes proposed to the structure or facilities on the Property and due to the fact that the requested use is consistent with the historical uses of the garage, it is the Applicant's position that its requested use of the garage will not create any undue traffic congestion, or unduly impair pedestrian safety.

3. The Requested Use Will Not Overload Any Public Water, Drainage Or Sewer System, Or Any Other Municipal System To Such An Extent That The Requested Use in the Immediate Area Or Any Other Area Of The Town Will Be Unduly Subjected To Hazards Affecting Health, Safety Or The General Welfare:

As provided above, the garage was fully developed in 1963 and there are no changes being proposed to the drainage, utilities and other infrastructure servicing the Property as they

are all more than adequate to accommodate the continue commercial use of the garage. Additionally, no hazardous materials will be stored on Property.

4. The Special Provisions For The Requested Use Under the Bylaw Are Fulfilled.

As provided above, the garage structure and commercial use of the garage was permitted by the ZBA in 1963. The commercial use of the garage is proposed to be that of storage of commercial vehicles and equipment, office use, and perform minor maintenance to owner vehicles and equipment within the garage at the Property. Pursuant to Section 8.1.1(A) of the Bylaw, the ZBA may granted the requested use if it finds that the use shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. As provide above, it is the Applicant's position that the ZBA has the necessary facts to make such a finding under the Bylaw.

5. The Requested Use Will Not Impair The Integrity Or Character Of the District Or Adjoining Districts, Nor be Detrimental To the Health or Welfare.

The Applicant directs the ZBA's attention to its statements provided for in Paragraph 1-4 above. Additionally, the Applicant states that the requested use is consistent with the historical commercial use made at the Property since 1963 and permission to continue such use will not impact the integrity or character of the R-2 district or adjoining districts nor be a detriment to the health or welfare of the community.

6. The Requested Use Will Not, By Its Addition To The Neighborhood, Cause An Excess Of the Use That Could Be Detrimental To The Character Of Said Neighborhood.

It is the Applicant's position that the proposed used is consistent with the historical use of the garage and that the proposed use is a significant decrease in uses conducted at the site over the years and that the proposed use will not be detrimental to the character of the neighborhood.

III. CONCLUSION

For all of the above reasons, the Property has historically been used for both residential and commercial purposes. The continuance of the requested commercial use of the garage on the Property will fit seamlessly with the existing use at the Property and neighborhood as there will essentially be no change to the uses of the garage on the Property that have been continuously and consistently made since 1963.

Furthermore, as provided above and in the supporting materials submitted in support herewith, it is the Applicant's position that it has shown sufficient evidence to support a finding from the ZBA that the requested use of the garage on the property for the storage of commercial vehicles and equipment, office use, and perform minor maintenance to owner vehicles and

March 4, 2025

Page -8-

equipment within the garage at the Property will not be substantially more determinantal than the existing nonconforming use to the neighborhood and that its application complies with all applicable criteria set forth in Section 3.3 of the Bylaw to grant the special use permit requested by the Applicant.

Therefore, the Applicant respectfully request that the ZBA grant the Applicant's application for Special Use Permit.

Thank you for your attention to this matter and should you have any questions or require any additional information concerning this Application, please do not hesitate to contact me directly.

Respectfully submitted,

POND LANE REALTY, LLC

By its attorneys,

[DOUGLAS A. TROYER](#)

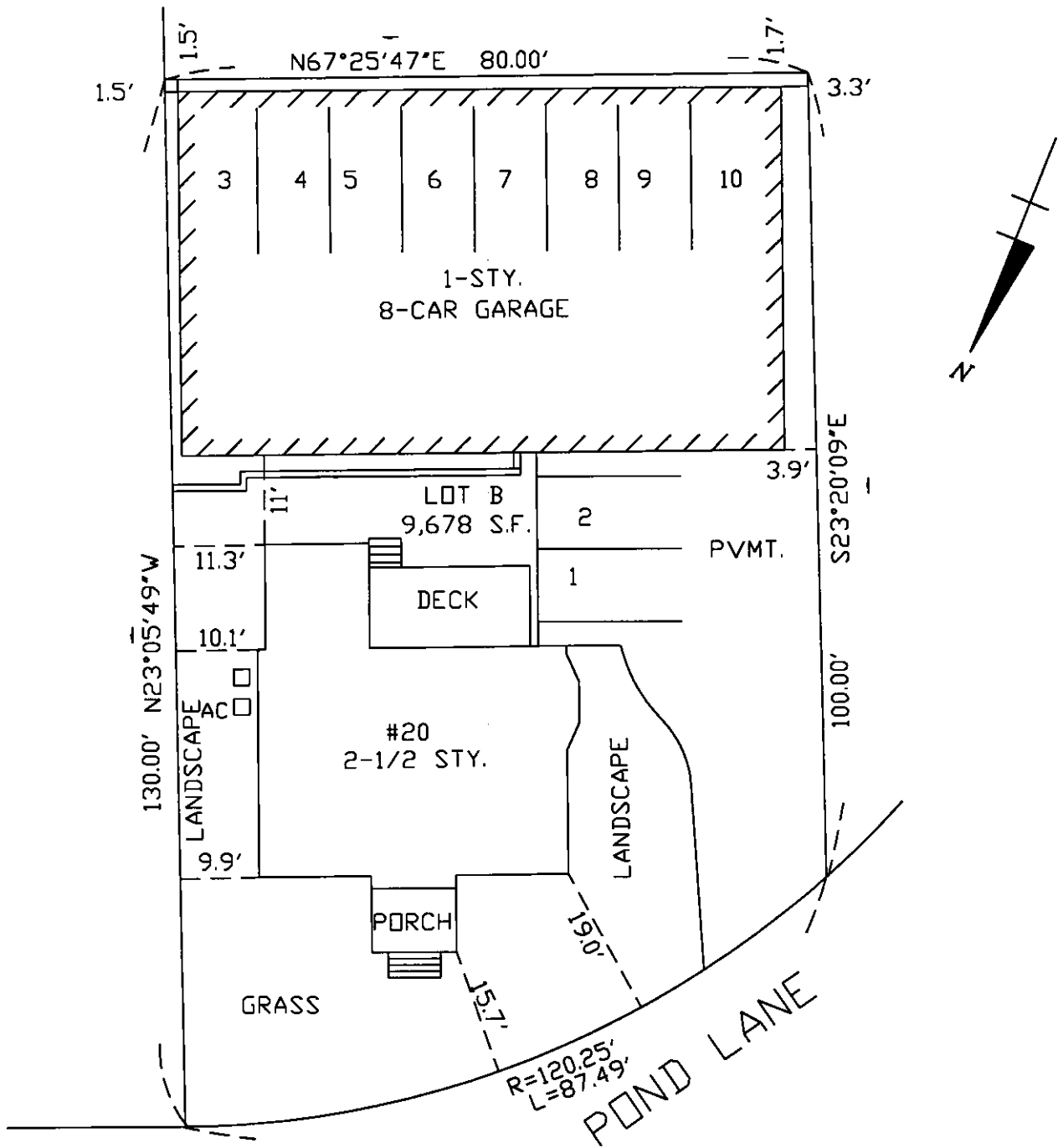
Douglas A. Troyer
100 Summer Street, 22nd Floor
Boston, MA 02110
(671) 488-8236
dtroyer@pierceatwood.com

cc: Client (via email only)

EXHIBIT 1

LOT COVERAGE
9678-4954/9678 = 48.8%
LANDSCAPED OPEN SPACE
9678-6821/9678 = 29.5%

	EXISTING	REQ'D.	
SETBACKS			
FRONT	15.7' PORCH 19' HOUSE	20'	
SIDE (LT)	1.5' GARAGE	6'	
SIDE (RT)	3.3' GARAGE	6'	
REAR	1.5' GARAGE	20'	
PARKING SPACES	10		
LOADING BAYS	0		
LOT COV.	48.8%	35%	
USABLE OPEN SPACE	0 %	30%	
LANDSCAPED OPEN SPACE	29.5%	10%	



NOTE:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED FROM AN ACTUAL ON THE GROUND INSTRUMENT SURVEY.



PAUL J. FINOCCHIO P.L.S. No.36115 DATE 11/26/24

PLOT PLAN OF LAND
IN
ARLINGTON, MA

PREPARED BY:
PJF & ASSOCIATES
4 HIGHLAND AVE WAKEFIELD, MA
PAUL J. FINOCCHIO-P.L.S.
(781)883-5473

SCALE: 1" = 20'

DEED REF.:

DATE: NOVEMBER 26, 2024

FILE No.:6953B 88 of 245



SP-24-26

Special Use Permit
Application (ZBA)

Status: Active
Submitted On: 9/12/2024



Primary Location

20 POND LN Unit 2
Arlington, MA 02474


Owner

POND LANE REALTY LLC
C/O NICHOLAS BOIT; 32
HARBOUR DR N OCEAN RIDGE,
FL 33435

Applicant

 Douglas Troyer
 617-466-8236
 dtroyer@pierceatwood.com
 100 Summer Street
22nd Floor
Boston, MA 02110

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)**** 

Section 8.1.1(A) of the Zoning Bylaw.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Since its construction in 1963 the commercial use of the garage on the Property has been for the storage of commercial vehicles and equipment along with office use, auto body work and auto repair work. The Applicant's request to continue the use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work is consistent with the historical use of the garage and is in fact less intrusive than when the garage was used as an auto body shop and auto repair shop. The use is consistent with other uses in the neighborhood as the abutting Town property is being used for the storage of recreational equipment for the Arlington/Belmont Crew organization who stores their vehicles, trailers, crew boats, and other equipment on the Town property.

As the Property is fully developed - there are no changes proposed to the garage structure, driveway, drainage, utilities or other infrastructure servicing the Property - and the requested use is consistent with what has historically been used at the Property, the requested commercial use of the garage will continue to fit seamlessly with the community and neighborhood.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The Applicant states that the proposed project will not involve any changes to the driveway or parking area on the Property. Additionally, there are no proposed changes to the traffic flow, access, parking and pedestrian circulation that has been in existence at the Property for over 61 years. The Applicant anticipates that in addition to 2 vehicles parking in the driveway for the residential use for the Property, that approximately 2 commercial vehicles for employees will use the driveway area for parking and that the remaining vehicles will be parked inside of the garage which has ample storage area.

Therefore, because there no changes proposed to the structure or facilities on the Property and due to the fact that the requested use is consistent with the historical uses of the garage, it is the Applicant's position that its requested use of the garage will not create any undue traffic congestion, or unduly impair pedestrian safety.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

As provided above, the garage was fully developed in 1963 and there are no changes being proposed to the drainage, utilities and other infrastructure servicing the Property as they are all more than adequate to accommodate the continue commercial use of the garage. Additionally, no hazardous materials will be stored on Property.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

As provided above, the garage structure and commercial use of the garage was permitted by the ZBA in 1963. The commercial use of the garage is proposed to be that of storage of commercial vehicles and equipment, office use, and proposed light construction work to be performed inside of the garage. Pursuant to Section 8.1.1(A) of the Bylaw, the ZBA may granted the requested use if it finds that the use shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. As provide above, it is the Applicant's position that the ZBA has the necessary facts to make such a finding under the Bylaw.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The Applicant directs the ZBA's attention to its statements provided for in Paragraph 1-4 above. Additionally, the Applicant states that the requested use is consistent with the historical commercial use made at the Property since 1963 and permission to continue such use will not impact the integrity or character of the R-2 district or adjoining districts nor be a detriment to the health or welfare of the community.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

It is the Applicant's position that due to the fact that the requested use is consistent with the historical use of the garage and that the continuance of such commercial use of the garage for the storage of commercial vehicles and equipment, office use, and light construction work to be performed inside of the garage will not be detrimental to the character of the neighborhood.

Dimensional and Parking Information

Present Use/Occupancy *

Commerical Garage

Proposed Use/Occupancy *

Commercial Garage

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

3375

Proposed Gross Floor Area (Sq. Ft.)*

3375

Existing Lot Size (Sq. Ft.)*

9200

Proposed Lot Size (Sq. Ft.)* ?

9200

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

87.49

Proposed Frontage (ft.)*

87.49

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

0

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?
0

Existing Left Side Yard Depth (ft.)* ?
0

Proposed Left Side Yard Depth (ft.)* ?
0

Minimum Left Side Yard Depth required by Zoning* ?
0

Existing Right Side Yard Depth (ft.)* ?
0

Proposed Right Side Yard Depth (ft.)* ?
0

Minimum Right Side Yard Depth required by Zoning* ?
0

Existing Rear Yard Depth (ft.)*
0

Proposed Rear Yard Depth (ft.)*
0

Minimum Rear Yard Depth required by Zoning*
0

Existing Height (stories)
1

Proposed Height (stories)*
1

Maximum Height (stories) required by Zoning*
3

Existing Height (ft.)*
14

Proposed Height (ft.)*
14

Maximum Height (ft.) required by Zoning*
29

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)* ?

0

Proposed Usable Open Space (% of GFA)* ?

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by
Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

0

Proposed type of construction*

0

Open Space Information

Existing Total Lot Area*

9200

Proposed Total Lot Area*

9200

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,
Existing Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

0

+

×

÷

=

Total Proposed Gross Floor Area

0

+

×

÷

=

APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



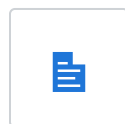
Applicant's Signature*



Nick Boit

Sep 4, 2024

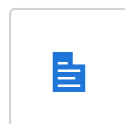
Attachments



3822 20 Pond Lane Abutter List.pdf

3822 20 Pond Lane Abutter List.pdf

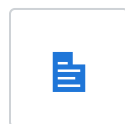
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3822 20 Pond Lane Abutters map.pdf

3822 20 Pond Lane Abutters map.pdf

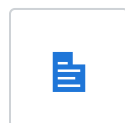
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3821 20 Pond Lane legal ad.pdf

3821 20 Pond Lane legal ad.pdf











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Neighbor Photos 20 Pond Lane - Creedon.pdf

Neighbor Photos 20 Pond Lane - Creedon.pdf

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	Neighbor letter -20 Pond Lane - Creedon.pdf Neighbor letter -20 Pond Lane - Creedon.pdf Uploaded by Colleen Ralston on Oct 21, 2024 at 8:29 AM	
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	Lt to ZBA 12.2.24.pdf Lt to ZBA 12.2.24.pdf Uploaded by Douglas Troyer on Dec 2, 2024 at 3:45 PM	
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	2.4.25 Lt to ZBA.pdf 2.4.25 Lt to ZBA.pdf Uploaded by Douglas Troyer on Feb 4, 2025 at 1:46 PM	
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	Final Supplemental Filing 3.4.25.pdf Final Supplemental Filing 3.4.25.pdf Uploaded by Douglas Troyer on Mar 4, 2025 at 3:23 PM	
	Supporting Documentation [worksheet and drawings] Final Memo in Support of Application 9.12.24.pdf Uploaded by Douglas Troyer on Sep 12, 2024 at 1:52 PM	REQUIRED

Zoning Board of Appeals
Town of Arlington
51 Grove Street Arlington, MA 02476
Attn: Colleen Ralston

March 7th, 2025

Re: **Petition to Expand Commercial Use at 20 Pond Lane**

Dear Members of the Zoning Board of Appeals:

I write to respectfully request that the Board **deny** any expansion of commercial use at 20 Pond Lane. I reside at 15 Pond Lane, directly adjacent to the property in question. My concerns center on both the **procedural impropriety** of the current request and the **significant negative impacts** that the proposed expanded use would impose on our residential neighborhood.

1. Statement of Facts and Existing Special Permit

- In 1963, the property at 20 Pond Lane obtained a **building permit** for the construction of a garage. This permit did not grant any commercial uses of this property.
- In 1967, the property at 20 Pond Lane obtained a **special permit** allowing:
 - One owner plus two employees,
 - One pickup truck,
 - Operation of a business with no heavy or noisy work, and minimal customer or supplier traffic.
 - For a business purpose substantially similar to the Harrington Equipment Co.
- This 1967 special permit is the **only** permit validly on record. Over the decades, commercial activities at 20 Pond Lane operated **unlawfully**, without proper permits or occupancy certificates. Despite these violations, **no corrective action** was taken to enforce or revoke the 1967 special permit.
- **The owners of the property have not complied with the conditions set forth in the special permit for decades.**
- **No Comparable Property:** Public records and inquiries returned negative results. There is **no comparable property** in an R2-zoned area in Arlington or in any of the neighboring towns that permits this type of commercial use. This petition effectively seeks a **precedent-setting** expansion of industrial-type use in a residentially zoned district.

2. Procedural and Legal Concerns

1. Unclear Basis of the Current Petition

It remains uncertain whether the present application is an **amendment to the 1967 special permit** or a **new** special permit request. There has been **no** explicit clarification on the existing permitted use or how the petitioner and future property owner intend to comply with the 1967 terms.

2. Request for 'Commercial Garage' and Central Warehouse for a Retail Chain

The petitioner seeks to repurpose the property as a central warehouse for a retail chain, a significant expansion beyond its prior limited use for **passive** storage. This proposal involves the daily movement of goods typically restricted to industrial zones. Additionally, the petitioner has requested approval for a 'commercial garage' without providing a clear definition of its intended use. In other jurisdictions, such a designation often includes commercial vehicle storage, automotive repairs, and other revenue-generating activities. Under Section 5.4.3 (Use Regulations for Residential Districts), these uses are explicitly prohibited in the R2 district, and no special permit can be granted to allow them.

3. Failure to Solicit Neighbor Input

Despite clear directives from the Board (October 22nd meeting), the petitioner has made **no** legitimate effort to involve neighbors in refining the proposal. This contradicts the requirement that the requested use be essential or desirable to the public convenience or welfare. Despite the opportunity to refine the proposal and incorporate neighbor feedback, the applicant did not put forward any self-imposed restrictions to limit the extent or time of operations at the property.

4. Failure to Provide Evidence

The petitioner has failed to present any concrete evidence demonstrating that the requested use would serve the public convenience or welfare, pose no risk to traffic flow or pedestrian safety, or have no adverse impact on public infrastructure. Furthermore, the petitioner asserts that the proposed future uses align with the property's historical use. **However, this claim effectively amounts to a commitment to continue the property's prior unlawful use.**

5. History of Illegal Use

The property was used unlawfully for decades with no updated permit or valid occupancy certificates. It may now be appropriate for the Board to consider **revoking** the 1967 special permit or enforcing it strictly, rather than expanding rights for a property that has historically violated permit conditions.

3. Detriment to Neighbors and Neighborhood Character

Should the Board allow any expansion, the proposal raises **serious questions** of **detriment to the public good**, including:

1. **Noise and Hours of Operation**

Without clear constraints, the neighborhood risks late-night, early-morning and weekend noise.

2. **Traffic and Access**

Narrow streets, limited parking, low-hanging power lines, and a nearby fire hydrant make heavier traffic and large commercial vehicles unsafe and impractical.

3. **Waste and Environmental Impact**

Increased trash, potential for hazardous material storage, and the risk of attracting rodents or pests create environmental and public health concerns.

4. **Equipment Storage**

Frequent equipment and goods movement can lead to heavy vehicular traffic. Large equipment and goods may require trailers with wide turn radiuses, incompatible with the existing residential infrastructure.

5. **Changing Neighborhood Context**

Since 1967, when a handful of commercial businesses were nearby, the district has evolved into a predominantly **residential** community. Multi-unit developments, increased pedestrian and bicycle traffic, and new parks now characterize the area including an in-home daycare across the street, making industrial or intensive commercial use wholly **inconsistent** with the current neighborhood fabric.

4. Conclusion and Requested Relief

To protect the character of our residential neighborhood and **uphold the integrity** of Arlington's zoning laws, I respectfully request that the Board:

1. **Deny** the petition to ensure continued compliance with the 1967 special permit or, where appropriate, consider **revoking** the 1967 permit altogether due to the historic and ongoing violations.
2. **Require Clarity** on whether this application constitutes a new special permit request or merely an amendment to the 1967 special permit, and **enforce** the bylaw constraints on commercial and industrial use in this district.
3. **Impose Specific Conditions** if any commercial use is allowed:
 - Enforceable hours of operation,
 - Explicit limits on vehicle size and number,
 - Prohibitions on any industrial or manufacturing activities,
 - Prohibitions on the type of material, hazardous or not, to be stored on the property.
 - Clear definitions and periodic review to prevent future unauthorized expansion.
4. **Consider a Definitive Time Limitation** on any renewed or modified special permit, subject to reevaluation based on neighborhood impact and compliance.

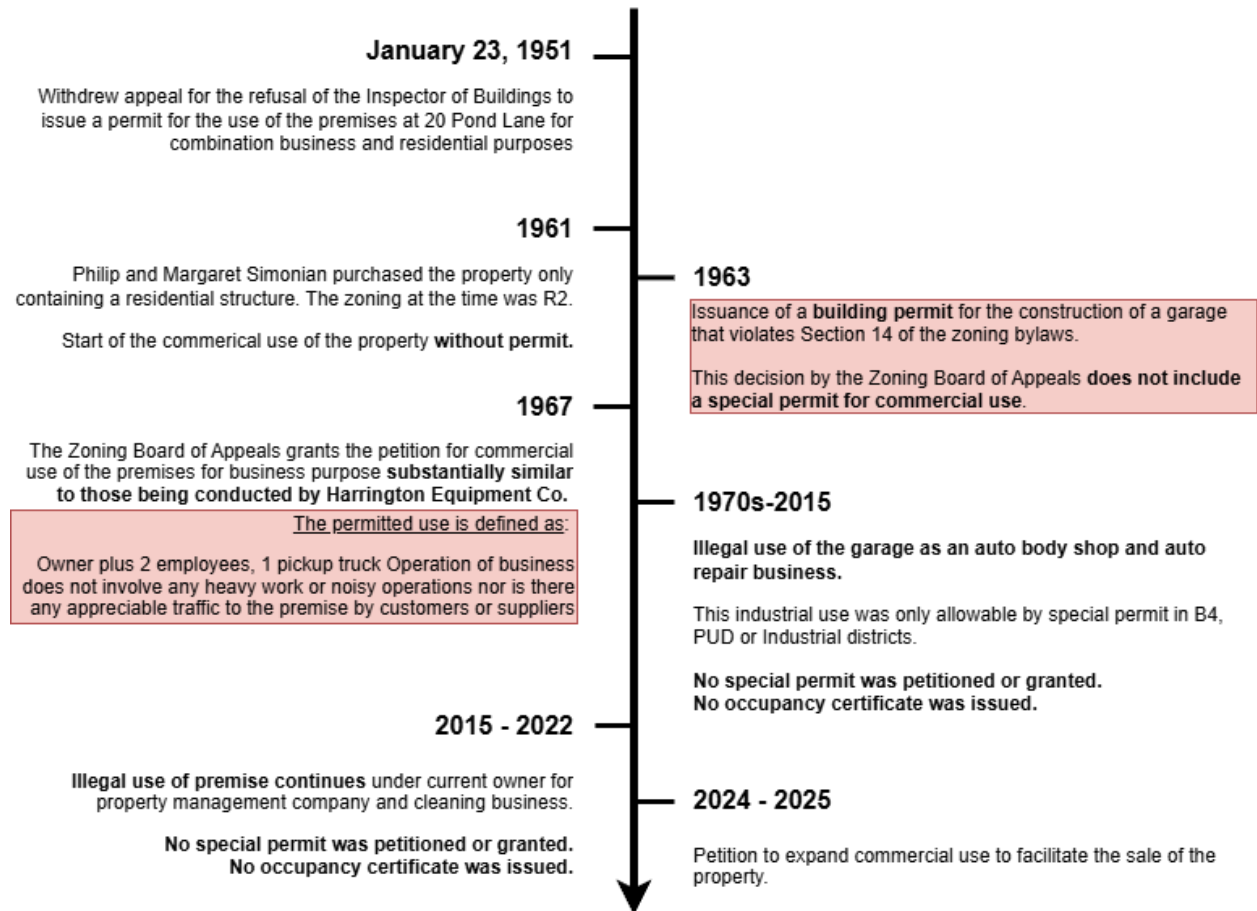
By taking these steps, the Board can ensure the property's use remains compatible with the existing residential district and does not jeopardize the public interest. Thank you for your time and consideration. Should you have any questions or require further information, please feel free to contact me.

Sincerely,

Michael Simader

15 Pond Lane
Arlington, MA 02474

Attachments




SP-24-26**Special Use Permit Application
(ZBA)**

Status: Active

Submitted On: 9/12/2024

Primary Location20 POND LN Unit 2
Arlington, MA 02474**Owner**POND LANE REALTY LLC
C/O NICHOLAS BOIT; 32 HARBOUR DR N
OCEAN RIDGE, FL 33435**Applicant** Douglas Troyer
 617-466-8236
 dtroyer@pierceatwood.com
 100 Summer Street
22nd Floor
Boston, MA 02110

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made  or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)****

Section 8.1.1(A) of the Zoning Bylaw. See also Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Since its construction in 1963 the commercial use of the garage on the Property has been for the storage of commercial vehicles and equipment along with office use, auto body work and auto repair work. The Applicant's request to continue the use of the garage for the storage of commercial vehicles and equipment, office use, and perform minor maintenance to owner vehicles and equipment within the garage at the Property is consistent with the historical use of the garage and is in fact less intrusive than when the garage was used as an auto body shop and auto repair shop. The use is consistent with other uses in the neighborhood as the abutting Town property is being used for the storage of recreational equipment for the Arlington/Belmont Crew organization who stores their vehicles, trailers, crew boats, and other equipment on the Town property.

As the Property is fully developed - there are no changes proposed to the garage structure, driveway, drainage, utilities or other infrastructure servicing the Property - and the requested use is consistent with what has historically been used at the Property, the requested commercial use of the garage will continue to fit seamlessly with the community and neighborhood.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The Applicant states that the proposed project will not involve any changes to the driveway or parking area on the Property. Additionally, there are no proposed changes to the traffic flow, access, parking and pedestrian circulation that has been in existence at the Property for over 61 years. The Applicant anticipates that in addition to 2 vehicles parking in the driveway for the residential use for the Property, that 2-3 employees will be on site when needed and small commercial vehicles and pickup trucks will be used on site and with ample storage and up to 10 parking spots available inside of the garage.

Therefore, because there no changes proposed to the structure or facilities on the Property and due to the fact that the requested use is consistent with the historical uses of the garage, it is the Applicant's position that its requested use of the garage will not create any undue traffic congestion or unduly impair pedestrian safety.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

As provided above, the garage was fully developed in 1963 and there are no changes being proposed to the drainage, utilities and other infrastructure servicing the Property as they are all more than adequate to accommodate the continue commercial use of the garage. Additionally, no hazardous materials will be stored on Property.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

As provided above, the garage structure and commercial use of the garage was permitted by the ZBA in 1963. The commercial use of the garage is proposed to be that of storage of commercial vehicles and equipment, office use, and perform minor maintenance to owner vehicles and equipment within the garage at the Property. Pursuant to Section 8.1.1(A) of the Bylaw, the ZBA may granted the requested use if it finds that the use shall not be substantially more detrimental than the existing nonconforming use to the neighborhood. As provide above, it is the Applicant's position that the ZBA has the necessary facts to make such a finding under the Bylaw.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The Applicant directs the ZBA's attention to its statements provided for in Paragraph 1-4 above. Additionally, the Applicant states that the requested use is consistent with the historical commercial use made at the Property since 1963 and permission to continue such use will not impact the integrity or character of the R-2 district or adjoining districts nor be a detriment to the health or welfare of the community.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

It is the Applicant's position that the proposed used is consistent with the historical use of the garage and that the proposed use is a significant decrease in uses conducted at the site over the years and that the proposed use will not be detrimental to the character of the neighborhood.

The Applicant further directs the ZBA's attention to Applicant's Supplemental Memorandum in Support of Special Use Permit Application filed in support of this Application on 3/4/25.

Dimensional and Parking Information

Present Use/Occupancy *

Commerical Garage

Proposed Use/Occupancy *

Commercial Garage - No Change 3/25/25

Existing Number of Dwelling Units*

0

Proposed Number of Dwelling Units*

0

Existing Gross Floor Area (Sq. Ft.)*

3375

Proposed Gross Floor Area (Sq. Ft.)*

3375

Existing Lot Size (Sq. Ft.)*

9200

Proposed Lot Size (Sq. Ft.)* ?

9200

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

87.49

Proposed Frontage (ft.)*

87.49

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0

Proposed Floor Area Ratio*

0

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

0

Proposed Lot Coverage (%)*

0

Max. Lot Coverage required by Zoning*

0

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

0

Proposed Left Side Yard Depth (ft.)* ?

0

Minimum Left Side Yard Depth required by Zoning* ?

0

Existing Right Side Yard Depth (ft.)* ?

0

Proposed Right Side Yard Depth (ft.)* ?

0

Minimum Right Side Yard Depth required by Zoning* ?

0

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

0

Minimum Rear Yard Depth required by Zoning*

0

Existing Height (stories)

1

Proposed Height (stories)*

1

Maximum Height (stories) required by Zoning*

3

Existing Height (ft.)*

14

Proposed Height (ft.)*

14

Maximum Height (ft.) required by Zoning*

29

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

0

Proposed Landscaped Open Space (Sq. Ft.)*

0

Existing Landscaped Open Space (% of GFA)*

0

Proposed Landscaped Open Space (% of GFA)*

0

Minimum Landscaped Open Space (% of GFA) required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

0

Proposed Usable Open Space (Sq. Ft.)*

0

Existing Usable Open Space (% of GFA)* ?

0

Proposed Usable Open Space (% of GFA)* ?

0

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

0

Proposed Number of Parking Spaces*

0

Minimum Number of Parking Spaces required by Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

0

Proposed type of construction*

0

Open Space Information

Existing Total Lot Area*

9200

Proposed Total Lot Area*

9200

Existing Open Space, Usable*

0

Proposed Open Space, Usable*

0

Existing Open Space, Landscaped*

0

Proposed Open Space, Landscaped*

0

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area 

0

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

0

1st Floor, Proposed Gross Floor Area

0

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

0

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area 

0

Attic, Proposed Gross Floor Area

0

Parking Garages, Existing Gross Floor Area 

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies, Existing Gross Floor Area

0

All weather habitable porches and balconies, Proposed Gross Floor Area

0

Total Existing Gross Floor Area

0 

Total Proposed Gross Floor Area

0 

APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.















I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



Applicant's Signature*

 Nick Boit
Sep 4, 2024

Attachments

	3822 20 Pond Lane Abutter List.pdf 3822 20 Pond Lane Abutter List.pdf Uploaded by Colleen Ralston on Oct 1, 2024 at 9:19 AM
	3822 20 Pond Lane Abutters map.pdf 3822 20 Pond Lane Abutters map.pdf Uploaded by Colleen Ralston on Oct 1, 2024 at 9:19 AM
	3821 20 Pond Lane legal ad.pdf 3821 20 Pond Lane legal ad.pdf Uploaded by Colleen Ralston on Oct 1, 2024 at 9:21 AM
	Neighbor Photos 20 Pond Lane - Creedon.pdf Neighbor Photos 20 Pond Lane - Creedon.pdf Uploaded by Colleen Ralston on Oct 21, 2024 at 8:29 AM
	Neighbor letter -20 Pond Lane - Creedon.pdf Neighbor letter -20 Pond Lane - Creedon.pdf Uploaded by Colleen Ralston on Oct 21, 2024 at 8:29 AM
	Neighbor letter -20 Pond Lane - Simader.pdf Neighbor letter -20 Pond Lane - Simader.pdf Uploaded by Colleen Ralston on Oct 21, 2024 at 8:32 AM
	Lt to ZBA 11.7.24(17595170.1).pdf Lt to ZBA 11.7.24(17595170.1).pdf Uploaded by Douglas Troyer on Nov 7, 2024 at 11:53 AM
	Lt to ZBA 12.2.24.pdf Lt to ZBA 12.2.24.pdf Uploaded by Douglas Troyer on Dec 2, 2024 at 3:45 PM
	Lt to ZBA 1.7.25.pdf Lt to ZBA 1.7.25.pdf Uploaded by Douglas Troyer on Jan 7, 2025 at 2:57 PM
	2.4.25 Lt to ZBA.pdf 2.4.25 Lt to ZBA.pdf Uploaded by Douglas Troyer on Feb 4, 2025 at 1:46 PM
	Waiver of Time Constraints Lt to ZBA 2.10.25(17843495.1).pdf Waiver of Time Constraints Lt to ZBA 2.10.25(17843495.1).pdf Uploaded by Douglas Troyer on Feb 10, 2025 at 4:40 PM
	Waiver of Time Constraints Lt to ZBA 2-10-25(17843495.1).pdf Waiver of Time Constraints Lt to ZBA 2-10-25(17843495.1).pdf Uploaded by Colleen Ralston on Feb 12, 2025 at 3:04 PM
	Final Supplemental Filing 3.4.25.pdf Final Supplemental Filing 3.4.25.pdf Uploaded by Douglas Troyer on Mar 4, 2025 at 3:23 PM
	3822 20 Pond Lane Application before 3-6-2025 SP-24-26.pdf 3822 20 Pond Lane Application before 3-6-2025 SP-24-26.pdf Uploaded by Colleen Ralston on Mar 6, 2025 at 9:16 AM



Michael Simader - Letter to ZBA in Opposition to the Expansion of Commercial Use at 20 Pond Ln.pdf

Michael Simader - Letter to ZBA in Opposition to the Expansion of Commercial Use at 20 Pond Ln.pdf

Uploaded by Colleen Ralston on Mar 10, 2025 at 8:35 AM



Supporting Documentation [worksheet and drawings]

REQUIRED

Final Memo in Support of Application 9.12.24.pdf

Uploaded by Douglas Troyer on Sep 12, 2024 at 1:52 PM

**CERTIFIED ABUTTERS LIST****Date: March 12, 2025****Subject Property Location: 20 POND LN Arlington, MA****Subject Property ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
10.A-4-3	374 MASS AVE UNIT 2	BACHANOWSKI JOHN S &	KIEWRA KARIN A	374 MASS AVE	UNIT 2	ARLINGTON	MA	02474
10.A-4-4	374 MASS AVE UNIT 3	LUSTIG DAVID &	TAO XIANGLONG	374 MASS AVE	UNIT 3	ARLINGTON	MA	02474
10.A-4-5	374 MASS AVE UNIT 4	THOMPSON FRED & QUINBY		31 WOODBURY ST		SOUTH PORTLAND	ME	04106
9.A-2-1	19 WYMAN TERR UNIT 1	WISE WILLIAM	GUERRERO ABEL	19 WYMAN TERR	UNIT 1	ARLINGTON	MA	02474
9.A-2-2	19 WYMAN TERR UNIT 2	ALBERT MAURA H & BLAIR LINDA J	TRS/ MAURA H ALBERT REVOCABLE	19 WYMAN TERR	UNIT 2	ARLINGTON	MA	02474
10.A-3-9	9--11 POND LN UNIT 9	SITOMER MARION		9 POND LN		ARLINGTON	MA	02474
10.A-3-11	9--11 POND LN UNIT 11	CREEDON PAUL A	CLUNIE PAIGE A	11 POND LN		ARLINGTON	MA	02474
10.A-5-1	46--48 POND LN UNIT 1	MORRISON LAI-KUEN & DONALD M		46 POND LN	UNIT 1	ARLINGTON	MA	02474
10.A-5-2	46--48 POND LN UNIT 2	RUSSELL KAREN J/ TRUSTEE	KAREN RUSSELL 2023 TRUST	46 POND LN	UNIT 2	ARLINGTON	MA	02474
10.A-3-16.1	16 AVON PL UNIT 1	CAPODANNO JILL & AMIE &	BLOUIN LYN	16 AVON PL	#1	ARLINGTON	MA	02474
10.A-3-16.2	16 AVON PL UNIT 2	SANDSTEDT DANIEL M &	CAPODANNO AMIE	16 AVON PL	#2	ARLINGTON	MA	02474
10.A-2-11.1	11 AVON PL UNIT 1	SCHWINGEL LOUISE	SCHWINGEL RICHARD E	11 AVON PL UNIT 1	UNIT 1	ARLINGTON	MA	02474
10.A-2-11.2	11 AVON PL UNIT 2	EZEKOWITZ ANDREW	LIU LIQUN	11 AVON PL UNIT 2	UNIT 2	ARLINGTON	MA	02474
9-1-6	16 WYMAN TERR	BURNHAM JAMES NEAL ETAL/ TRS	JAMES NEAL BURNHAM & SUSAN	16 WYMAN TER		ARLINGTON	MA	02474
9-1-7	12--14 WYMAN TERR	GENTILE DANIEL ETAL - UNIT 12	NAHM BYUNG JOO ETAL - UNIT 14	12-14 WYMAN TERR	CONDO CONVERSION	ARLINGTON	MA	02474
9-2-2.A	0-LOT POND LN	TOWN OF ARLINGTON PARK DEPT		730 MASS AVE		ARLINGTON	MA	02476
9-2-4	360 MASS AVE	MULHERN ROBERT & TINA		360 MASS AVE		ARLINGTON	MA	02474
9-2-5	358 MASS AVE	PEEL RE LLC		358 MASS AVE		ARLINGTON	MA	02474
9-2-6	3 WYMAN TERR	NYBERG JONATHAN	DOLAN DAVID/SARA Q	P.O. BOX 292		ARLINGTON	MA	02476
9-2-7	9 WYMAN TERR	BOEHM BERNARD L/TRUSTEE	BERNARD BOEHM TRUST	9 WYMAN TERR		ARLINGTON	MA	02474
9-2-8	11--13 WYMAN TERR	SHEEHAN JOANNE M/ TRUSTEE	J.M.S. WYMAN TERRACE TR-2022	25 MORNINGSIDE DR		ARLINGTON	MA	02474
9-2-9	15--17 WYMAN TERR	SARGENT ENRAKU &	SAU ANNA	242 WESTON RD		WELLESLEY	MA	02482
9.A-2-3	19 WYMAN TERR UNIT 3	MACLEOD AMY & GLEN A ETAL/ TRS	AMY MACLEOD REVOCABLE TRUST OF	19 WYMAN TERR	UNIT 3	ARLINGTON	MA	02474
9-2-11	21 WYMAN TERR	SPY POND LLC		21 WYMAN TER		ARLINGTON	MA	02474
9-2-12	25--27 WYMAN TERR	CHASSE MARY		25 WYMAN TERR		ARLINGTON	MA	02474
9-3-1	0-LOT POND LN	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
9.A-2-10	12 POND LN UNIT 10	LI HUIMING	ZENG YUANCHUN	17 JUSTIN ST		LEXINGTON	MA	02420
9.A-2-12	12 POND LN UNIT 12	KE YUE	MENG YUXI	11 OCTOBER LN		WESTON	MA	02493
9.A-2-20	12 POND LN UNIT 20	WONG CHING-WAH		5 CONCORD AVE	UNIT 52	CAMBRIDGE	MA	02138
9.A-2-21	12 POND LN UNIT 21	LIMANI FATON	URUCI-LIMANI GERTA	34 ROCKLAND AVE		ARLINGTON	MA	02474
9.A-2-22	12 POND LN UNIT 22	BUCK JAMES W		12 POND LANE	UNIT 22	ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST**

Date: March 12, 2025

Subject Property Location: 20 POND LN Arlington, MA

Subject Property ID: 10-4-5.A

Search Distance: 300 Feet

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
9.A-2-23	12 POND LN UNIT 23	SPITZKOFF CRAIG		31 BROKEN TREE RD		NEWTON	MA	02459
9.A-2-24	12 POND LN UNIT 24	ZENG FENG	JIANG BOLAN	12722 KINSLEY CT		SAN DIEGO	CA	92129
9.A-2-25	12 POND LN UNIT 25	LOADWICK GEORGE J		12 POND LN	UNIT 25	ARLINGTON	MA	02474
9.A-2-26	12 POND LN UNIT 26	WEN CHIN KUEI/TR	WEN SHIAO MOON LEE/TR	294 GLEN RD		WESTON	MA	02493
9.A-2-27	12 POND LN UNIT 27	HANSON WILLIAM J & LORRAINE P/ TRS	KIRSTEN L HANSON TRUST	8 SANDY RIDGE RD		STERLING	MA	01564
9.A-2-30	12 POND LN UNIT 30	ARLINGTON REAL ESTATE TRUST		C/O CHING-WAH WONG	5 CONCORD AVE #52	CAMBRIDGE	MA	02138
9.A-2-31	12 POND LN UNIT 31	BATTINELLI PETER K		12 POND LN	UNIT 31	ARLINGTON	MA	02474
9.A-2-32	12 POND LN UNIT 32	KUNSMAN CHARLES		12 POND LN	UNIT 32	ARLINGTON	MA	02474
9.A-2-33	12 POND LN UNIT 33	MERRILL DONALD A/TRUSTEE	LUCAS ANNE MARIE/TR	12 POND LN	UNIT 33	ARLINGTON	MA	02474
9.A-2-34	12 POND LN UNIT 34	SAWANT MIHIR PREMSING		12 POND LN	UNIT 34	ARLINGTON	MA	02474
9.A-2-35	12 POND LN UNIT 35	GORKA CAROLYN		12 POND LN	UNIT 35	ARLINGTON	MA	02474
9.A-2-36	12 POND LN UNIT 36	JOHNSON DAVID H/ TRUSTEE	DAVID H JOHNSON TRUST	25 THORNTON WAY	APT 305	BRUNSWICK	ME	04011
9.A-2-37	12 POND LN UNIT 37	YANNAKEAS ELIAS/TRUSTEE	YANNAKEAS REALTY NOMINEE TRUST	119 YDRAS ST	KALAMATA	MESSINIAS GREECE		24100
9.A-2-40	12 POND LN UNIT 40	LI RUI		70 ALBERT AVE		BELMONT	MA	02478
9.A-2-41	12 POND LN UNIT 41	BORGERS CHRISTOPH	WONG AMY O	12 CHERRY ST		LEXINGTON	MA	02421
9.A-2-42	12 POND LN UNIT 42	SANTIAGO CARRIE		12 POND LN	APT 42	ARLINGTON	MA	02474
9.A-2-43	12 POND LN UNIT 43	DRUM LLC		190 CUTLERS FARM RD		MONROE	CT	06468
9.A-2-44	12 POND LN UNIT 44	PARUCHURU RAJANY		16 PLEASANT ST		NEEDHAM	MA	02492
9.A-2-45	12 POND LN UNIT 45	BOND EDITH G		12 POND LN	UNIT 45	ARLINGTON	MA	02474
9.A-2-46	12 POND LN UNIT 46	HINRICHSSEN NANCY STOWELL	HINRICHSSEN THOMAS HANS	225 ENCHANTING DR		WINCHESTER	VA	22603
9.A-2-47	12 POND LN UNIT 47	FAITH EDWARD P		12 POND LN	UNIT 47	ARLINGTON	MA	02474
9.A-2-50	12 POND LN UNIT 50	BREITENBACH MARIE		12 POND LN	#50	ARLINGTON	MA	02474
9.A-2-51	12 POND LN UNIT 51	LIN CHUAN	CAO HUAIGU	10 PEARL ST		LEXINGTON	MA	02420
9.A-2-52	12 POND LN UNIT 52	DIBELLO PAUL	COLONESE DAWN	12 POND LN	UNIT 52	ARLINGTON	MA	02474
9.A-2-53	12 POND LN UNIT 53	KIM MIN		12 POND LN	UNIT 53	ARLINGTON	MA	02474
9.A-2-54	12 POND LN UNIT 54	BEST AMY JOAN TORRES &	GARCIA JIMMY ANTONIOTORRES	12 POND LN	#56	ARLINGTON	MA	02476
9.A-2-55	12 POND LN UNIT 55	WONG WAH CHING EDITH		5 CONCORD AVE	#52	CAMBRIDGE	MA	02138
9.A-2-56	12 POND LN UNIT 56	BEST AMY JOAN TORRES &	GARCIA JIMMY ANTONIO TORRES	12 POND LN	#56	ARLINGTON	MA	02476
9.A-2-57	12 POND LN UNIT 57	LIU GUIZHONG & XIAOSHA		12 POND LN	UNIT 57	ARLINGTON	MA	02474
9.A-2-60	12 POND LN UNIT 60	HACHEY JEAN N		12 POND LN	#60	ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: March 12, 2025****Subject Property Location: 20 POND LN Arlington, MA****Subject Property ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
9.A-2-61	12 POND LN UNIT 61	CHARINOS MARIA		71 ATTHIDON STR	KALLITHEA ATHENS	GREECE		17672
9.A-2-62	12 POND LN UNIT 62	DE MONTIGNY WILLIAM		12 POND LN	UNIT 62	ARLINGTON	MA	02474
9.A-2-63	12 POND LN UNIT 63	BAE STELLA	KIM WONTAK	111 ROBBINS RD		WATERTOWN	MA	02472
9.A-2-64	12 POND LN UNIT 64	FERGUSON HOWARD		12 POND LN	UNIT 64	ARLINGTON	MA	02474
9.A-2-65	12 POND LN UNIT 65	DAVIDOW RACHEL B		12 POND LN	UNIT 65	ARLINGTON	MA	02474
9.A-2-66	12 POND LN UNIT 66	HESTIA PROPERTIES LLC		21 AVON PL		ARLINGTON	MA	02474
9.A-2-67	12 POND LN UNIT 67	KILICK MAORI M--ETAL	KILICK KATHLEEN A	12 POND LN	#67	ARLINGTON	MA	02474
9.B-1-101	366 MASS AVE UNIT 101	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-102	366 MASS AVE UNIT 102	EYE ASSOCIATES REALTY		172 CAMBRIDGE ST		BURLINGTON	MA	01803
9.B-1-103	366 MASS AVE UNIT 103	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-201	366 MASS AVE UNIT 201	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-202	366 MASS AVE UNIT 202	MASS ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-203	366 MASS AVE UNIT 203	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-204	366 MASS AVE UNIT 204	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-301	366 MASS AVE UNIT 301	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-302	366 MASS AVE UNIT 302	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-303	366 MASS AVE UNIT 303	MASS-ARLINGTON REALTY INC		59 UNION SQ		SOMERVILLE	MA	02143
9.B-1-304	366 MASS AVE UNIT 304	MASS ARLINGTON REALTY INC	C/O FRANCIS PRIVITERA	59 UNION SQ		SOMERVILLE	MA	02143
10-2-5	15 AVON PL	BURKE PAUL M & JENNIFER ROSE		659 MASS AVE		ARLINGTON	MA	02474
10-2-6	19 AVON PL	LOGAN MICHAEL J/ ELISABETH	TRS/LOGAN REAL ESTATE TRUST	19 AVON PL		ARLINGTON	MA	02474
10-2-7	25 AVON PL	SMITH SCOTT J/HEATHER A		25 AVON PL		ARLINGTON	MA	02474
10-2-8	29 AVON PL	AVONSTEAD LLC		3 DICKSON ST		SOMERVILLE	MA	02144
10-3-1	390 MASS AVE	KOZELIAN JOHN & SILVA N/ TRS	KOZELIAN REVOCABLE TRUST	8 CHESWICK RD		ARLINGTON	MA	02474
10-3-2	382--384 MASS AVE	CEDAR CREST ARLINGTON LLC		382 MASS AVE		ARLINGTON	MA	02474
10-3-4	7 POND LN	ROZZI PANFILO E		87 CLARK ST		BELMONT	MA	02478
10-3-6	15 POND LN	SIMADER MICHAEL & MELISSA		15 POND LN		ARLINGTON	MA	02474
10-3-7	19 POND LN	SULLIVAN JAMES	SULLIVAN CHRISTINE	19 POND LN		ARLINGTON	MA	02474
10-3-8	21 POND LN	TOWN OF ARLINGTON		730 MASS AVE		ARLINGTON	MA	02476
10-3-9	22--24 AVON PL	SAYIGH SOPHIA E/ TRUSTEE	SOPHIA E SAYIGH TRUST	24 AVON PL		ARLINGTON	MA	02474
10-3-11	12--14 AVON PL	HARDING LORI/GARY S		PO BOX 1111		WESTFORD	MA	01886
10-3-12	8--10 AVON PL	GNEWUCH CHRISTINA & SCOT C		10 AVON PL		ARLINGTON	MA	02474
10-4-1.A	378 MASS AVE	CONNELLY CONTRACTING INC		378 MASS AVE		ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: March 12, 2025****Subject Property Location: 20 POND LN Arlington, MA****Subject Property ID: 10-4-5.A****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mail Address 1	Mail Address 2	City/Town	State	Zip
10-4-1.B	10 POND LN	KEEFE KATHERINE G & ROBERT		10 POND LN		ARLINGTON	MA	02474
10.A-4-2	374 MASS AVE UNIT 1	MANTY WILLIAM/TRACY YUEN		374 MASS AVE	UNIT 1	ARLINGTON	MA	02474
10-4-3	370 MASS AVE	ARLINGTON POST NO 39	THE AMERICAN LEGION INC	370 MASS AVE		ARLINGTON	MA	02474
10-4-5.A	20 POND LN	POND LANE REALTY LLC		C/O NICHOLAS BOIT	32 HARBOUR DR N	OCEAN RIDGE	FL	33435
10-5-4	1 POND TERR	REYNOLDS STEPHEN/ETAL	WANAMAKER LISA M	1 POND TERR		ARLINGTON	MA	02474

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 feet.



Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
phone: 781.316.3050
email: assessors@town.arlington.ma.us



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

DOCKET NO **3821**

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **20 Pond Lane LLC**, on September 12, 2024, a petition seeking to alter their property located at **20 Pond Lane, Unit 2 – Block Plan 010.0-0004-0005**. Said petition would require a **Special Permit** under **8.1.1A** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" on **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

100 Summer Street
22nd Floor
Boston, MA 02110

PH 617.488.8236 (Direct)
FX 617.824.2020 (Fax)
dtroyer@pierceatwood.com
www.pierceatwood.com

Admitted in: MA

February 10, 2025

VIA ONLINE PORTAL FILING
AND EMAIL (zba@town.arlington.ma.us)

Town of Andover - Zoning Board of Appeals
51 Grove Street
Arlington, MA 02476
ATTENTION: Colleen Ralston

Re: ZBA Case # 3822 20 Pond Lane

Dear Honorable Members of the Zoning Board of Appeals:

Pursuant to Pond Lane Realty, LLC's February 4, 2025 request to continue the February 11, 2025 public hearing in the above-referenced matter to a date and time in March 2025, the Applicant waives the statutory time constraints the Zoning Board of Appeals may have regarding the above-mentioned project through April 21, 2025.

Douglas A. Troyer

Signature of applicant or authorized representative
Douglas A. Troyer
Counsel to Applicant.

cc: Nick Boit (via email only)
Christian Klein (via email onlycklein@town.arlington.ma.us)

2025 APR 10 AM 9:33
TOWN CLERK
ARLINGTON, MA 02476



BOARD OF APPEALS
Town of Arlington
Arlington, Massachusetts 02476

51 Grove Street
Telephone (781) 316-3396

April 14, 2025

As discussed at the previous hearing, here are proposed conditions for Docket 3821, 20 Pond Lane for discussion at the April 22, 2025 continuation of the hearing. Please note that Conditions #12 and #13 are standard conditions, and the Board will apply the language as written.

Condition #1: Commercial activities are limited to the hours noted in the Town's Noise Abatement Bylaw (Title V, Article 12, Section 3.A).

Condition #2: The size of vehicles accessing the site is limited to the Department of Transportation Classes 1-3 (up to 14,000 lb GVW) as currently in effect. All loading must take place on site. Loading of vehicles on the street is prohibited.

Condition #3: The activities that may take place at this site are limited to the following: storage of goods for sale at Wannamaker Hardware, storage of vehicles owned by Wannamaker Hardware, minor service of vehicles owned by Wannamaker Hardware, and general office functions. Any additional activities require amendment of this Special Permit.

Condition #4: Storage of materials is limited to those allowed under the Storage Use Group in the State Building Code (780 CMR 311) with the exception of aircraft hanger, dry boat storage, self-service storage, public parking, and any items which are not offered for sale at Wannamaker Hardware.

Condition #5: No retail sales, retail deliveries, or retail transfers may take place on the property.

Condition #6: Signage shall be limited to that allowed in the Residential Sign District in the Zoning Bylaw.

Condition #7: At no time shall more than four people be employed at this location.

Condition #8: The number of vehicle trips to the property is not to exceed six trips per day.

Condition #9: The granting of this special permit supersedes all previous grants.

Condition #10: Once enacted, this special permit shall be in effect until the property is transferred or sold to another entity, the accessory building is rented to another entity, or should the accessory building become uninhabitable.

Condition #11: Complaints regarding the operation of the property are to be submitted to the Building Inspector per Section 3.1 in the Zoning Bylaw. If in the Inspector's opinion the conditions of the permit are not being followed, this permit may be reviewed, revised, or revoked by the Board.



BOARD OF APPEALS
Town of Arlington
Arlington, Massachusetts 02476

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Condition #12: (Standard Condition) The Building Inspector is hereby notified that they are to monitor the site and should proceed with appropriate enforcement procedures at any time they determine that violations are present. The Building Inspector shall proceed under Section 3.1 of the Zoning Bylaw and under the provisions of Chapter 40, Section 21D of the Massachusetts General Laws, and institute non-criminal complaints. If necessary, the Building Inspector may also approve and institute appropriate criminal action, also in accordance with Section 3.1.

Condition #13: (Standard Condition) The Board shall maintain continuing jurisdiction with respect to this Special Permit grant.

Christian Klein
Chair, Arlington Zoning Board of Appeals



Town of Arlington, Massachusetts

Docket #3836 103 Thorndike St

Summary:

OpenGov Links:

- Special Permit: <https://arlingtonma.portal.opengov.com/records/207277>
- Variance: <https://arlingtonma.portal.opengov.com/records/208688>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3840_103_Thorndike_Legal_Ad.docx	3840 103 Thorndike Legal Ad
Reference Material	3836_103_Thorndike_St_Special_Permit_Application__SP-24-37.pdf	3836 103 Thorndike St Special Permit Application SP-24-37
Reference Material	3836_103_Thorndike_St_Variance_Application_V-25-3.pdf	3836 103 Thorndike St Variance Application V-25-3
Reference Material	3836_103_Thorndike_St_abutter_list_and_map.pdf	3836 103 Thorndike St abutter list and map
Reference Material	3836_103_Thorndike_St_Site_Plan.pdf	3836 103 Thorndike St Site Plan
Reference Material	3836_103_Thorndike_St_Drawings_20241223.pdf	3836 103 Thorndike St Drawings 20241223
Reference Material	3836_103_Thorndike_St_4_Photos_of_Site.pdf	3836 103 Thorndike St 4 Photos of Site
Reference Material	3836_103_Thorndike_St_3_Property_Record_Card.pdf	3836 103 Thorndike St 3 Property Record Card
Reference Material	3836_103_Thorndike_St_3_Memo_in_Support.pdf	3836 103 Thorndike St 3 Memo in Support
Reference Material	3836_103_Thorndike_Supplemental_Memo_Stories_Variance.pdf	3836 103 Thorndike Supplemental Memo Stories Variance
Reference Material	3836_103_Thorndike_1_Site_Plan_Mar_3_2025.pdf	3836 103 Thorndike Updated Site Plan Mar 3 2025
Reference Material	3836_103_Thorndike_Street_ConCom_Order_of_Conditions.pdf	3836 103 Thorndike Street ConCom Order of Conditions



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
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LEGAL NOTICE

DOCKET NO 3836

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **APSE Investment LLC**, on March 3, 2025, a petition seeking to alter their property located at **103 Thorndike St - Block Plan 002.0-0001-0020.0**. Said petition would require a **Special Permit** under **5.4.2** and a **Variance** under **8.1.3 B** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals



SP-24-37

Special Use Permit
Application (ZBA)

Status: Active

Submitted On: 12/23/2024





Primary Location

103 THORNDIKE ST
Arlington, MA 02474


Owner

APSE INVESTMENT LLC
C/O KUI XUE; 14 EMERALD ST
NEWTON, MA 02458

Applicant

 DUO (Alan) Yu
 617-938-7606
 alan.yu@buildwithmomo.com
 1660 SOLDIERS FIELD RD
BRIGHTON, MA 02135

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)**** 

Proposed two-family dwelling in R2 is permitted per 5.4.3 Use Regulations for Residential Districts

Explain why the requested use is essential or desirable to the public convenience or welfare.*

A 2-family dwelling promotes sustainable development by increasing density without requiring significant infrastructure upgrades. It also provides an affordable housing option for those seeking lower rent or mortgage costs, making housing more accessible. Lastly, two-family homes blend well with existing residential architecture, ensuring the development aligns with the neighborhood's character and maintains both visual and economic stability.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

A 2-family dwelling is consistent with the surrounding residential density and character, ensuring that the increase in activity does not significantly alter the flow of traffic or pedestrian movement.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

A 2-family dwelling typically requires minimal additional utility services compared to larger developments. The water and sewer usage will be relatively low, with only two households drawing from the system. Existing infrastructure should be sufficient to accommodate this modest increase in demand without causing strain on the public systems.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The existing single-family dwelling is non-conforming with current zoning regulations. To address this, we are filing for a special permit to allow for the new 2-family dwelling, as permitted by the Zoning Bylaw for non-conforming structures.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The development is compatible with the existing zoning, ensuring that it does not disrupt the health, safety, or general welfare of the community.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The 2-family dwelling is designed to have minimal impact on neighboring properties. It will not produce excessive noise, traffic, or pollution, and it will not introduce uses that are incompatible with the surrounding residential area.

Dimensional and Parking Information

Present Use/Occupancy *

RESIDENCE SINGLE FAMILY

Proposed Use/Occupancy *

RESIDENCE 2-FAMILY

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

1263

Proposed Gross Floor Area (Sq. Ft.)*

3372

Existing Lot Size (Sq. Ft.)*

4377.6

Proposed Lot Size (Sq. Ft.)* ?

4377.6

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

45

Proposed Frontage (ft.)*

45

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.29

Proposed Floor Area Ratio*

0.77

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

23.6

Proposed Lot Coverage (%)*

32.5

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

4375.6

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

2188.8

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

13.9

Proposed Front Yard Depth (ft.)*

20

Minimum Front Yard Depth required by Zoning*

20

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

11.9

Proposed Left Side Yard Depth (ft.)* ?

10

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

6.9

Proposed Right Side Yard Depth (ft.)* ?

10

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

47.8

Proposed Rear Yard Depth (ft.)*

20

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

30

Proposed Height (ft.)*

35

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

2464

Proposed Landscaped Open Space (Sq. Ft.)*

1742

Existing Landscaped Open Space (% of GFA)*

195

Proposed Landscaped Open Space (% of GFA)*

51.6

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

2063

Proposed Usable Open Space (Sq. Ft.)*

1054

Existing Usable Open Space (% of GFA)* ?

163

Proposed Usable Open Space (% of GFA)* ?

31

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

1

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by Zoning*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks *

1

Minimum Parking Area Setbacks required by Zoning*

2

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

5

Proposed Slope of proposed roof(s) (in. per ft.)*

2

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

TYPE V

Proposed type of construction*

TYPE V

Open Space Information

Existing Total Lot Area*

4377.6

Proposed Total Lot Area*

4377.6

Existing Open Space, Usable*

2063

Proposed Open Space, Usable*

1054

Existing Open Space, Landscaped*

2464

Proposed Open Space, Landscaped*

1742

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,
Existing Gross Floor Area

—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



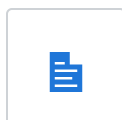
Applicant's Signature*



DUO YU

Dec 23, 2024

Attachments



103 Thorndike st Arlington _ Site Plan _8-21-24-C-1 sealed.pdf

103 Thorndike st Arlington _ Site Plan _8-21-24-C-1 sealed.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:20 PM



Supporting Documentation [worksheet and drawings]

REQUIRED

20241223 103 Thorndike St Arlington.pdf

Uploaded by DUO (Alan) Yu on Dec 23, 2024 at 1:19 PM



V-25-3

Variance Permit
Application (ZBA)
Status: Active
Submitted On: 3/3/2025





Primary Location

103 THORNDIKE ST
Arlington, MA 02474

Owner

APSE INVESTMENT LLC
C/O KUI XUE; 14 EMERALD ST
NEWTON, MA 02458

Applicant

 Christopher Alphen
 978-371-2226
 chris@bbhlaw.net
 9 Damonmill Square, Suite 4A4
Concord, MA 01742

Variance Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. The area provides ample open and recreational space. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

Describe how desirable relief may be granted without substantial detriment to the public good. *

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace a outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minis impact on the surrounding area.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

One Family

Proposed Use/Occupancy *

Two Family

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

1263

Proposed Gross Floor Area (Sq. Ft.)*

0

Existing Lot Size (Sq. Ft.)*

4377

Proposed Lot Size (Sq. Ft.)* ?

4377

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

45

Proposed Frontage (ft.)*

45

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.29

Proposed Floor Area Ratio*

0.77

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

23.6

Proposed Lot Coverage (%)*

56.4

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

0

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

0

Proposed Front Yard Depth (ft.)*

0

Minimum Front Yard Depth required by Zoning*

0

Existing Left Side Yard Depth (ft.)*

6.9

Proposed Left Side Yard Depth (ft.)*

10

Minimum Left Side Yard Depth required by Zoning*

11.9

Existing Right Side Yard Depth (ft.)*

6.9

Proposed Right Side Yard Depth (ft.)*

10

Minimum Right Side Yard Depth required by Zoning*

10

Existing Rear Yard Depth (ft.)*

47.8

Proposed Rear Yard Depth (ft.)*

20

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

30

Proposed Height (ft.)*

35

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

2464

Proposed Landscaped Open Space (Sq. Ft.)*

1742

Existing Landscaped Open Space (% of GFA)*

76.4

Proposed Landscaped Open Space (% of GFA)*

43.6

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

1

Proposed Usable Open Space (Sq. Ft.)*

1054

Existing Usable Open Space (% of GFA)*

2063

Proposed Usable Open Space (% of GFA)*

43.6

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

1

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by
Zoning*

2

Existing Parking area setbacks

20

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

5

Proposed Slope of proposed roof(s) (in. per ft.)*

2

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

TYPE V

Proposed type of construction*

TYPE V

Open Space Information

Existing Total Lot Area*

4377

Proposed Total Lot Area*

4377

Existing Open Space, Usable*

2063

Proposed Open Space, Usable*

1054

Existing Open Space, Landscaped*

2464

Proposed Open Space, Landscaped*

1742

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

664

Basement or Cellar, Proposed Gross Floor Area

709

1st Floor, Existing Gross Floor Area

—

1st Floor, Proposed Gross Floor Area

—

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,
Existing Gross Floor Area

—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

664



Total Proposed Gross Floor Area

709



APPLICANT DECLARATION (Arlington Residential Design Guidelines)

By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*

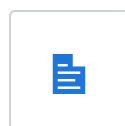


Applicant's Signature*



Christopher J. Alphen, Esq.
Mar 3, 2025

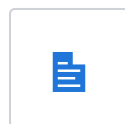
Attachments



2 Architectural Plans.pdf

2 Architectural Plans.pdf

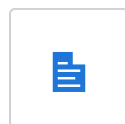
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3 Memo in Support.pdf

3 Memo in Support.pdf

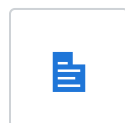
Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



3 Property Record Card.pdf

3 Property Record Card.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



4 Photographs of Site.pdf

4 Photographs of Site.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:09 PM



Supporting Documentation [worksheet and drawings]

REQUIRED

1 Site Plan 103 Thorndike.pdf

Uploaded by Christopher Alphen on Mar 3, 2025 at 5:08 PM

**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
2-1-5	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
2-1-12	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
2-1-19	99--101 THORNDIKE ST	AGGOURAS NICHOLAS A--ETAL	AGGOURAS MANNERS BARBARA	1 KENILWORTH RD		ARLINGTON	MA	02476
2-1-20	103 THORNDIKE ST	APSE INVESTMENT LLC		C/O KUI XUE	14 EMERALD ST	NEWTON	MA	02458
2-1-24	119--121 THORNDIKE ST	PELLEGRINO GRACE/TRUSTEE	PELLEGRINO REALTY TRUST	119 THORNDIKE ST		ARLINGTON	MA	02474
2-1-26	123--123A THORNDIKE ST	GUAN DONG	WU JIAYI	7 ARBOR LN		WINCHESTER	MA	01890
2-2-1	74--76 MAGNOLIA ST	PEPPER ANNE L		76 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-2	72 MAGNOLIA ST	JACOBSON MARC & SHARON		72 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-3	68--70 MAGNOLIA ST	FOX MARY L/SHARON/ETAL	TAYLOR ROBERT	70 MAGNOLIA ST		ARLINGTON	MA	02474
2-2-4	64--66 MAGNOLIA ST	AIELLO ROBERT B & LINDA M		106 PROSPECT ST		READING	MA	01867
2.A-5-92	92 FAIRMONT ST UNIT 2	BUCCI MAX J	DISSLY LAURA	92 FAIRMONT ST		ARLINGTON	MA	02474
2.A-5-90	90 FAIRMONT ST UNIT 1	VADALI RAGHAVENDRA		90 FAIRMONT ST	UNIT 1	ARLINGTON	MA	02474
2-2-6	56--58 MAGNOLIA ST	ENOS MARIA Z ETAL/ TRS	ANNA ZAFIROPOULOS 2023 REVOCAB	43 LONGWOOD DR		WESTPORT	MA	02790
2-2-7	71--73 THORNDIKE ST	PERALTA MARIA C	GALLAHER NATHANIEL D	73 THORNDIKE ST		ARLINGTON	MA	02474
2.A-3-118.2	118 THORNDIKE ST	CHEN ELAINE & KAM ANTHONY		118 THORNDIKE ST	UNIT 2	ARLINGTON	MA	02474
2.A-3-120.1	120 THORNDIKE ST	SAYLOR PHILIP J & LAURA S		120 THORNDIKE ST	UNIT 1	ARLINGTON	MA	02474
2-2-8	75--77 THORNDIKE ST	HORVATH DORA E/ LIFE ESTATE		77 THORNDIKE ST		ARLINGTON	MA	02474
2.A-4-1.1	78 THORNDIKE ST	DANAHER MEGHAN		78 THORNDIKE ST		ARLINGTON	MA	02474
2.A-4-2.2	80 THORNDIKE ST	CRAUMER MARTHA		80 THORNDIKE ST		ARLINGTON	MA	02474
2-2-11	87--89 THORNDIKE ST	GROSSMAN MARK W	GROSSMAN AMY ELLEN	249 RUTLEDGE RD		BELMONT	MA	02478
2-2-12	91--93 THORNDIKE ST	KOUFOS NICK J & MARIA V/TRS	DEJO TRUST	45 TERN LN		CENTERVILLE	MA	02632
2.A-2-83	83 THORNDIKE ST	BANNER MATTHEW F & JANE E		83 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-85	85 THORNDIKE ST	HOSEY IRENE	STRANGES PETER	85 THORNDIKE ST	UNIT 85	ARLINGTON	MA	02474
2.A-4-55	55 FAIRMONT ST UNIT 2	BURGESS GABRIELLE	BURKHOLZ NOAH	55 FAIRMONT ST	UNIT 2	ARLINGTON	MA	02474
2.A-4-57	57 FAIRMONT ST UNIT 1	SONAN ANDREA		82 HIGHLAND AVE		WATERTOWN	MA	02472
2-3-5	122--122B THORNDIKE ST	WESTWATER DONALD S/ETAL	CAREY KATHLEEN A	429 MYSTIC ST		ARLINGTON	MA	02474
2-3-8	116--116A THORNDIKE ST	DUPONT ANNA M/ TRUSTEE	ANNA M DUPONT REALTY TRUST	116 THORNDIKE ST		ARLINGTON	MA	02474
2-3-9	114 THORNDIKE ST	MALTZ ALAN P--ETAL	MALTZ BURNS SUSAN	114 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-5.1	60--62 MAGNOLIA ST UNIT 1	SAFF REBECCA R & DAVID E/ TRS	60 MAGNOLIA STREET NOMINEE TR	60 MAGNOLIA ST		ARLINGTON	MA	02474
2.A-2-5.2	60--62 MAGNOLIA ST UNIT 2	RADOSEVICH ALEXANDER T	SAADAT ALHAM	62 MAGNOLIA ST		ARLINGTON	MA	02474
2.A-2-9.1	79--81 THORNDIKE ST UNIT 1	PAYNTER KENNETH D ETAL/ TRS	PALANZA-PAYNTER REVOCABLE	79 THORNDIKE ST		ARLINGTON	MA	02474
2.A-2-9.2	79--81 THORNDIKE ST UNIT 2	GIGNAC GRETCHEN A &	PAYNTER NINA P	81 THORNDIKE ST		ARLINGTON	MA	02474
2-3-10	112 THORNDIKE ST	PALMTEER WILLIAM & JULIE B		112 THORNDIKE ST		ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
2-3-11	110 THORNDIKE ST	DEVNEY DARCY CAMPION		110 THORNDIKE ST		ARLINGTON	MA	02474
2.A-3-77.1	77--79 FAIRMONT ST UNIT 1	CHEN XUEGUANG	ZHANG PING	77 FAIRMONT ST	UNIT 1	ARLINGTON	MA	02474
2.A-3-79.2	77--79 FAIRMONT ST UNIT 2	MACKEY LESTER	FANG LILLY	79 FAIRMONT ST		ARLINGTON	MA	02474
2-3-12	104--106 THORNDIKE ST	DE MELO JOSE V/ETAL	DE MELO ROSALINA TRUSTEES	66 CLARK ST	DE MELO TRUST	MEDFORD	MA	02155
2-3-14	100 THORNDIKE ST	GUEVARA MILA H & TONY H		100 THORNDIKE ST		ARLINGTON	MA	02474
4.A-5-88	88--90 VARNUM ST UNIT 88	LAPERLA STEPHEN J & BRIDGET R		88 VARNUM ST		ARLINGTON	MA	02474
4.A-5-90	88--90 VARNUM ST UNIT 90	FAN CHUCHU	NING QIANG	90 VARNUM ST		ARLINGTON	MA	02474
2-3-16	81 FAIRMONT ST	RIZAL ABANISH & PRAGYA		81 FAIRMONT ST		ARLINGTON	MA	02474
2-3-17	85 FAIRMONT ST	CHRISTO FRANCES		85 FAIRMONT ST		ARLINGTON	MA	02474
2-3-18	87 FAIRMONT ST	SILVA DONALD J JR	SILVA KATHLEEN D	87 FAIRMONT ST		ARLINGTON	MA	02474
2-3-19	89 FAIRMONT ST	BARILLEAUX GERARD &	BARRILLEAUX MARY CATHERINE	89 FAIRMONT ST		ARLINGTON	MA	02474
2-3-20	91--91A FAIRMONT ST	MALLARD DIANE N & THOMAS L		91 FAIRMONT ST		ARLINGTON	MA	02474
2-3-21	93--93A FAIRMONT ST	VOTE SEAN ANDREW		140 RUBLEE ST		ARLINGTON	MA	02476
2-3-22	95--95A FAIRMONT ST	ANTONOPOULOS JOHN	LIFE ESTATE	95 FAIRMONT ST		ARLINGTON	MA	02474
2-3-23	97--97A FAIRMONT ST	LIN MEIXING	ZHOU RONGJIE	97 FAIRMONT ST		ARLINGTON	MA	02474
2-4-1	90--92 THORNDIKE ST	ZOU ZONG GAN		92 THORNDIKE ST		ARLINGTON	MA	02474
2-4-2	86--88 THORNDIKE ST	RICH ELEANOR S		86 THORNDIKE ST		ARLINGTON	MA	02474
2-4-5	76 THORNDIKE ST	BOUBOULIS JAMES & STEFANOS	BOUBOULIS EKATERINI+DESPINI	195 BROADWAY		ARLINGTON	MA	02474
2-4-10	59--61 FAIRMONT ST	FEINSTEIN DANIEL B &	LAY SAROM	61 FAIRMONT ST		ARLINGTON	MA	02474
2-4-11	63--65 FAIRMONT ST	CRONIN JOSEPH J-FLORENCE A		63 FAIRMONT ST		ARLINGTON	MA	02474
2-4-12	67--69 FAIRMONT ST	ZIMMERMANN NANCY A &	ZIMMERMANN PAUL M	67 FAIRMONT ST		ARLINGTON	MA	02474
2-4-13	15--17 HERBERT RD	JAROSIEWICZ KAREN		17 HERBERT RD		ARLINGTON	MA	02474
2-5-7	94--94A FAIRMONT ST	RAMEIOR LISA B/TRUSTEE	RAME FAMILY TRUST	94 FAIRMONT ST		ARLINGTON	MA	02474
2-5-10	86--88 FAIRMONT ST	STOFF DAVID--ETAL	INGRAM JENNIFER A	88 FAIRMONT ST		ARLINGTON	MA	02474
2-5-11	82--84 FAIRMONT ST	SOTIROPOULOS GEORGE	SOTIROPOULOS MARIA N	84 FAIRMONT ST		ARLINGTON	MA	02474
2-5-12	8 HERBERT RD	JAEGER WILLIAM F III--ETAL	MINTZ SUSAN E	8 HERBERT RD		ARLINGTON	MA	02474
2-6-1	68 FAIRMONT ST	GARVEY TIMOTHY G & LESLIE E		203 LAKE VIEW AVE		CAMBRIDGE	MA	02138
4-5-8	102--104 VARNUM ST	PAN MEI	CHEN XIAO L	254 BELMONT ST		QUINCY	MA	02169
4-5-9	100--100A VARNUM ST	PATTERSON ROBERT D		21 BLOSSOM ST		LEXINGTON	MA	02421
4-5-10	96--98 VARNUM ST	BREIDING DAVID E	BREIDING SYLVIA M	98 VARNUM ST		ARLINGTON	MA	02474
4-5-11	92--94 VARNUM ST	MCLAUGHLIN MAURA D	FERRARA RYAN J	92 VARNUM ST		ARLINGTON	MA	02474
4-5-13	62 HERBERT RD	SANTELO MARK /TRUSTEE &	MILLER SANDRA A/TRUSTEE	62 HERBERT RD		ARLINGTON	MA	02474
4-5-15	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON		730 MASS AVE		ARLINGTON	MA	02476

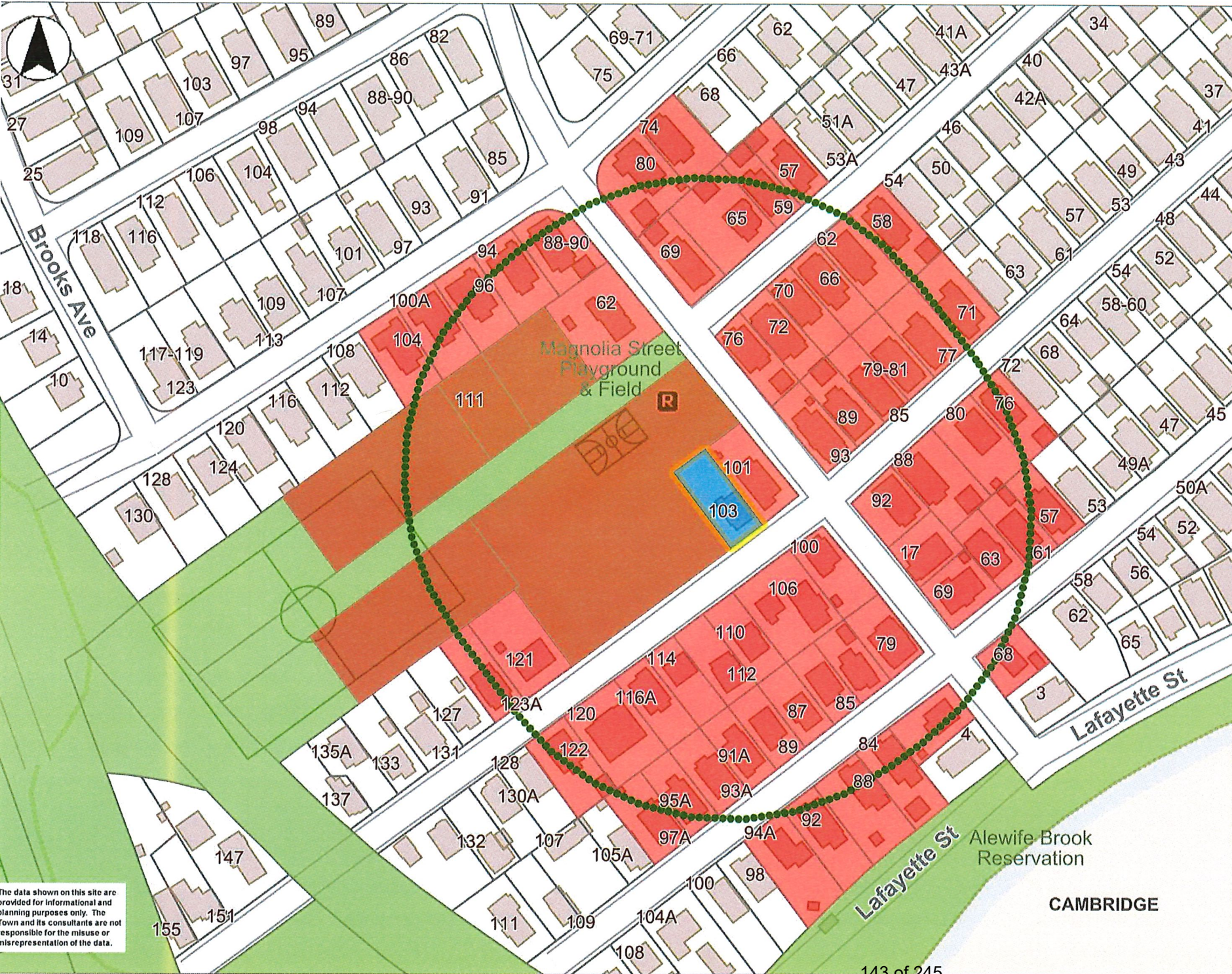
**CERTIFIED ABUTTERS LIST****Date: December 23, 2024****Subject Property Location: 103 THORNDIKE ST Arlington, MA****Subject Parcel ID: 2-1-20****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
4-5-18	111 MAGNOLIA ST	TOWN OF ARLINGTON		730 MASS AVE		ARLINGTON	MA	02476
4-5-20	0-LOT MAGNOLIA ST	TOWN OF ARLINGTON PARK		730 MASS AVE		ARLINGTON	MA	02476
4-8-1	78--80 VARNUM ST	MOODY MARGARET T--ETAL	LIN CHARLES P	78 VARNUM ST		ARLINGTON	MA	02474
4-8-2	72--74 VARNUM ST	MARSHALL JOSEPH M & FRANCES M	TRS/ MARSHALL REALTY TRUST	72 VARNUM ST		ARLINGTON	MA	02474
4-8-6	55--57 MAGNOLIA ST	DE MOEL EVERARDUS	SCHELL KATE M	57 MAGNOLIA ST		ARLINGTON	MA	02474
4-8-7	59--59A MAGNOLIA ST	DANIELSON CHRISTINE N/ TRUSTEE	LUCREZIANO FAMILY REALTY TRUST	18 BATES DR		NASHUA	NH	03064
4-8-8	65 MAGNOLIA ST	IVERSON RALPH B ETAL/ TRS	65 MAGNOLIA STREET NOMINEE TR	65 MAGNOLIA ST		ARLINGTON	MA	02474
4-8-10	67--69 MAGNOLIA ST	VOGT MARY W		67 MAGNOLIA ST		ARLINGTON	MA	02474

The Board of Assessors certifies the names and addresses of the requested parties in interest, all abutters to sunject parcel within 300 feet.



Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
phone: 781.316.3050
email: assessors@town.arlington.ma.us



- Places by Category
 - Police Station
 - Fire Station
 - School
 - Library
 - Public Works
- Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
- Open Space: Conserv
- Open Space - Minuter
- Open Space - Labels
- Open Space
 - Town, State, or
 - Other Town Ow
- MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
- Abutting Towns
- Town Boundary
- Parcels
- Buildings
- Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
- Pavement Markings
- Impervious Surface - I
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
- Roads - For Large Sci
- Roads - For Small Sci
 - Major Road
 - Local Road
- Master Plan Base Map
- Water Line
- Water Body

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
2. CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
3. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
4. CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

FLOOD VENT CALCULATION

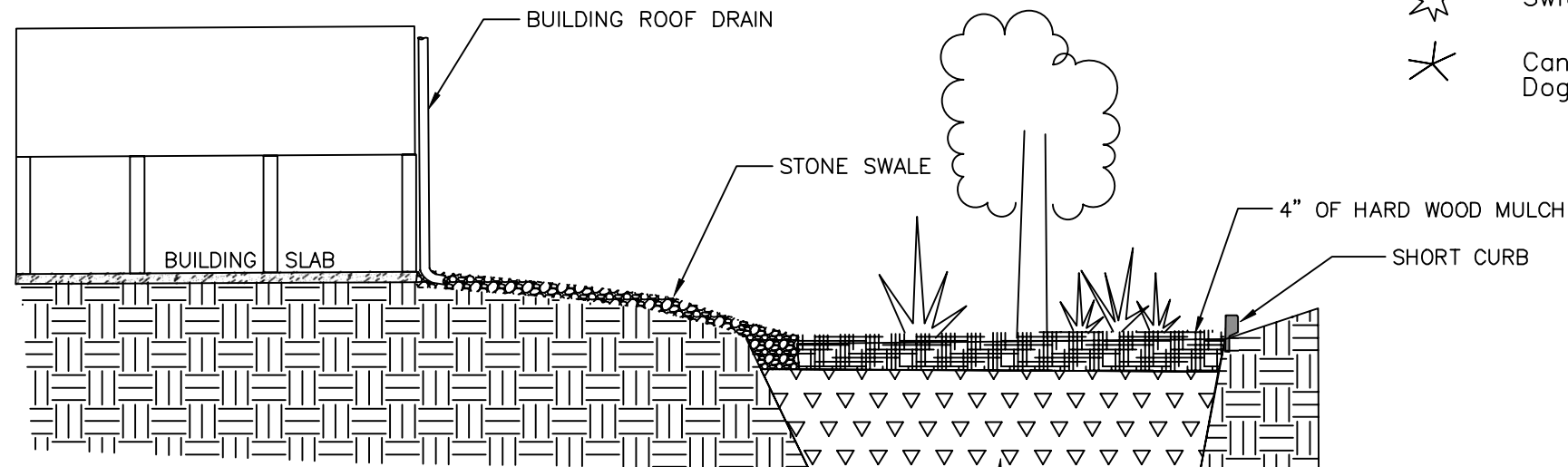
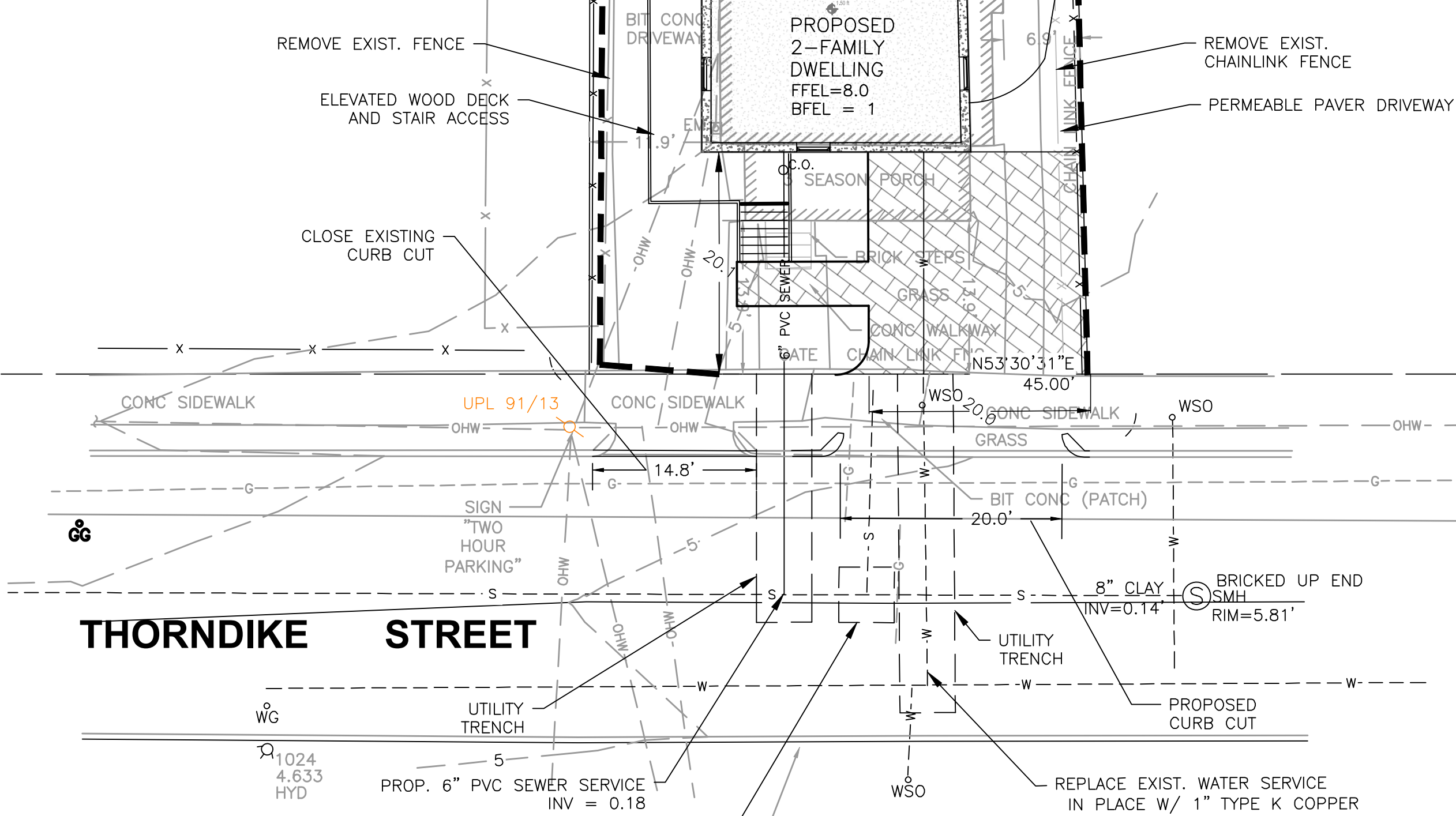
TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET

TOTAL FLOOD VENT PROVIDED
= 16" x 8" x 6 vents = 768 SQ. INCHES

CUT & FILL

CUT VOL. = 65.86 Cu. Yd.
FILL VOL. = 0.05 Cu. Yd.
NET VOL. (CUT) = 65.81 Cu. Yd.

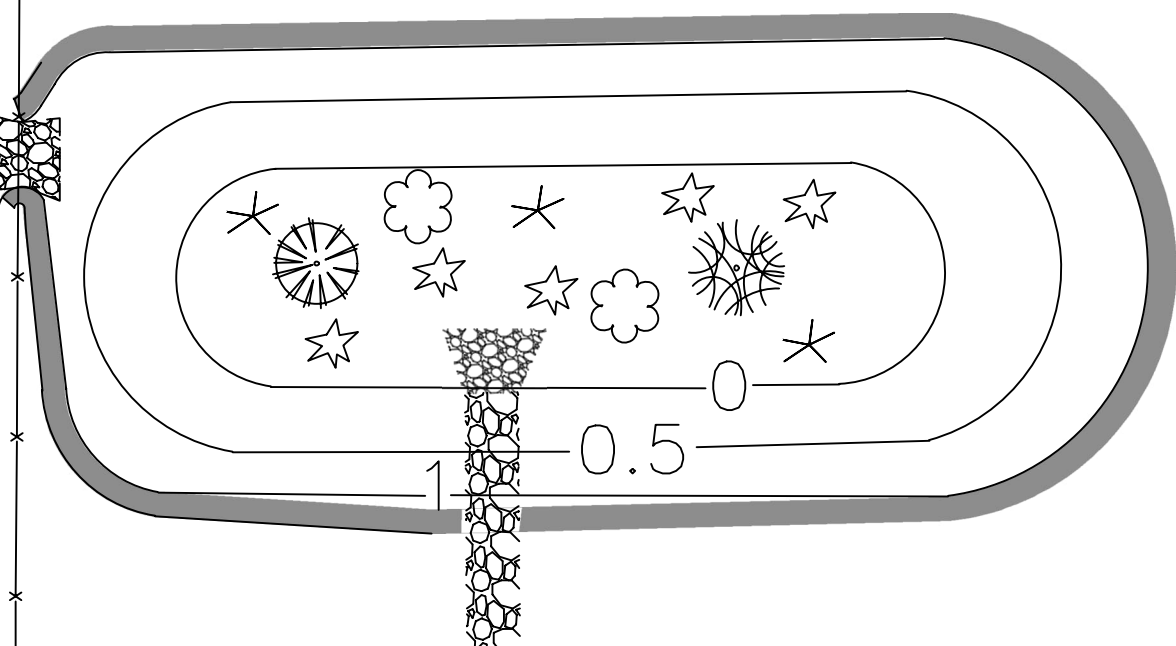
N/F
TOWN OF ARLINGTON
BK. 10679/PG.161



18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL AND REPLACE WITH ENGINEERED BIO-RETENTION SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

Symbol	Common Name	Botanical Name	Quantity
	Red Maple	Acer Rubrum	1
	Flowering Dogwood	Cornus Florida	1
	Winterberry	Ilex Verticillata	2
	Switch Grass	Panicum Virgatum	5
	Canada Dwarf Dogwood	Chamaepericlymenum Canadense	3

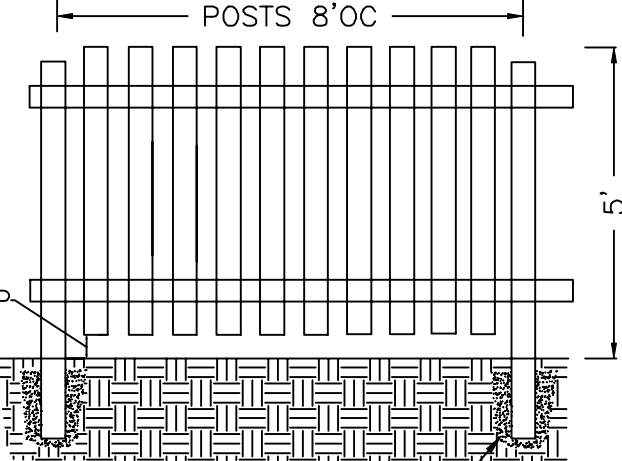


PLAN REFERENCE

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN NOVEMBER 2023.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MAGNETIC NORTH. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE AE (WITHOUT BASE FLOOD ELEVATION) (BFE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ARLINGTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010. THE FLOOD ELEVATION IS 7'.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.
- 7) OWNER AND PROPERTY INFORMATION:
OWNER: APSE INVESTMENT LLC
PARCEL ID: 2-1-20

ROAD

HERBERT

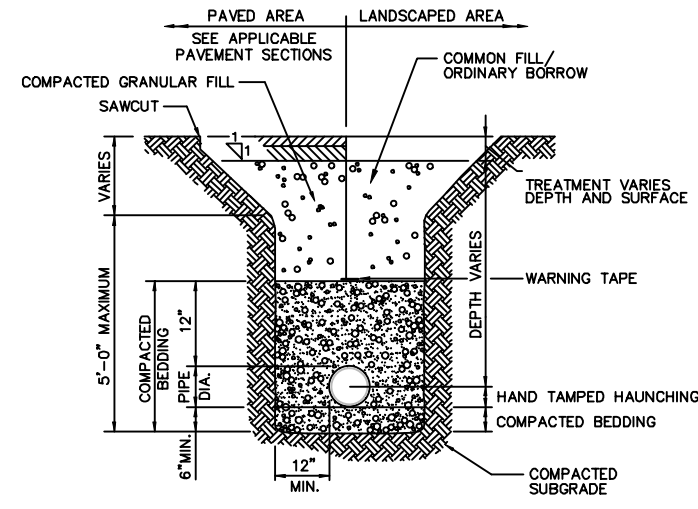


5' CEDAR FENCE DETAIL
N.T.S.

NOTE: CEDAR FENCE TO REPLACE EXISTING CHAIN LINK FENCE. 4" GAP BETWEEN BOTTOM OF FENCE AND GROUND. POSTS TO BE SET 18" MIN. BELOW GRADE.



TREE PROTECTION EXAMPLE
N.T.S.

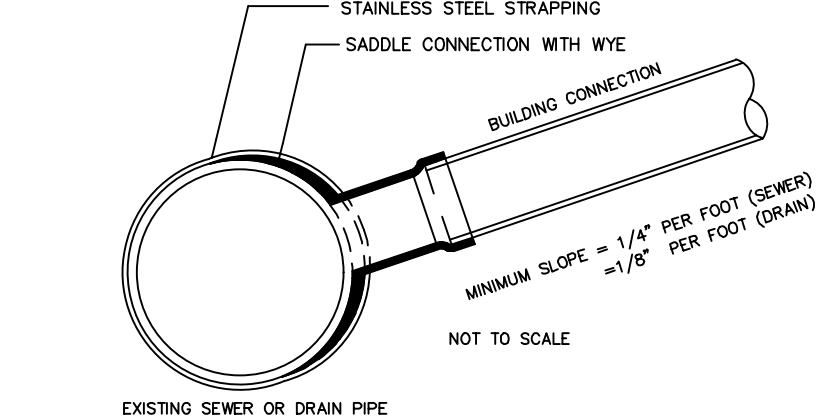


Notes:
WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH EXISTING PAVED AREAS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
PAVEMENT SECTION TO CONFORM TO CITY OF QUINCY DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATION.

Utility Trench
N.T.S.



Notes:
1. TYPICAL FOR DRIVEWAY AREA USE.
2. BRAND AND PRODUCT DETERMINED BY CLIENT.



NOTE: USE THIS DETAIL ONLY IF EXISTING WYE BRANCH IS NOT FOUND IN THE FIELD.

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE.
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.
6. TO BE USED IF AN EXISTING WYE IS NOT FOUND.

SEWER CONNECTION DETAIL
NOT TO SCALE

SADDLE CONNECTION DETAIL
N.T.S.

REVISIONS:		
NO.:	COMMENTS:	DATE:
1.	FENCE DETAIL ADDED	8/13/2024
2.	FENCE DETAIL ADDED PER CON. COMM. COMMENT	8/21/2024

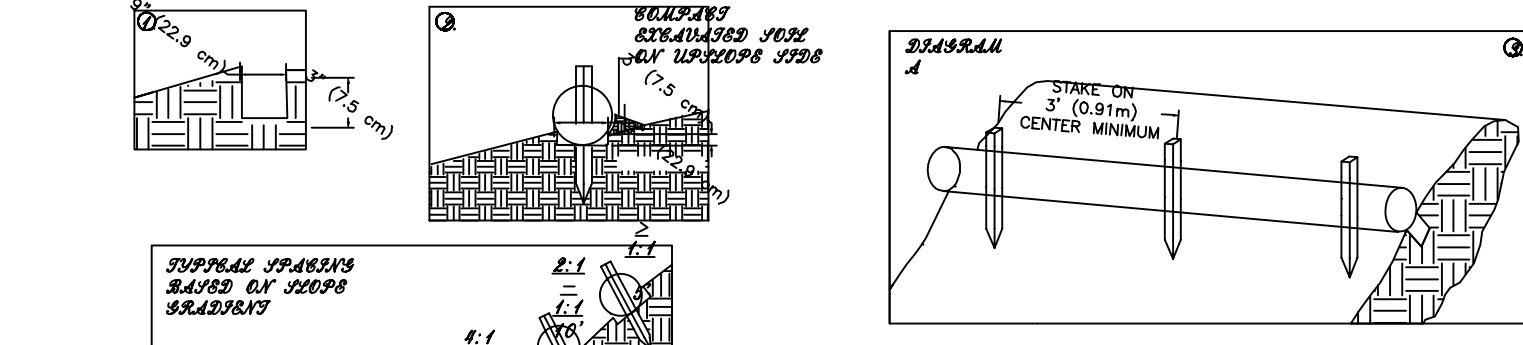
FLOOD STORAGE VOLUME EL. 7'

	EXISTING	PROPOSED
EL. -1-0	0	68
EL. 0-1	192.2	260.2
EL. 1-2	1,200.5	1,961.5
EL. 2-3	2,025.5	2,375
EL. 3-4	2,672.5	2,740.4
EL. 4-5	3,320.5	3,329.6
EL. 5-6	3,676.6	3,677.6
EL. 6-7	3,676.6	3,677.6

DIMENSIONAL REQUIREMENTS

ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377 SF	4,377 SF
MIN. LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD - FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD - SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD - REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	48.4%
MIN. USABLE OPEN SPACE	30%	76.4%	68.7%
MAX. LOT COV. (BUILDING & DRIVE)	35%	23.6%	32.2%

* EXISTING NONCONFORMING

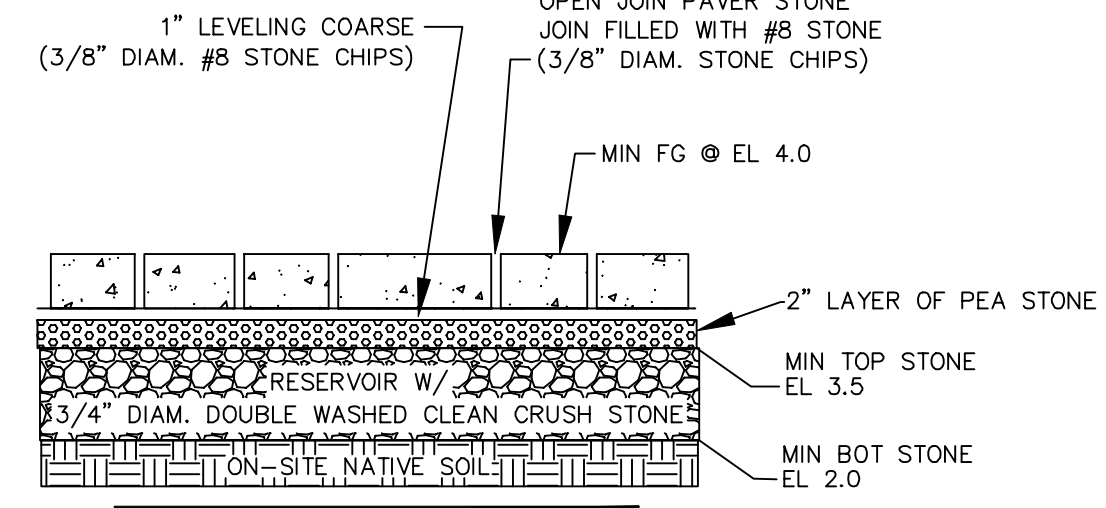


1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (5-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UPSLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPSLOPE SIDE. ADJACENT SOCKS SHOULD TIGHTLY ADJUT.
3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 5'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.
4. 2" X 2" X 36" WOODEN STAKES PLACED 10' O.C.
5. 2" X 2" X 36" WOODEN STAKES PLACED 10' O.C.
6. 2" X 2" X 36" WOODEN STAKES PLACED 10' O.C.

Filtertex Erosion Control
N.T.S.

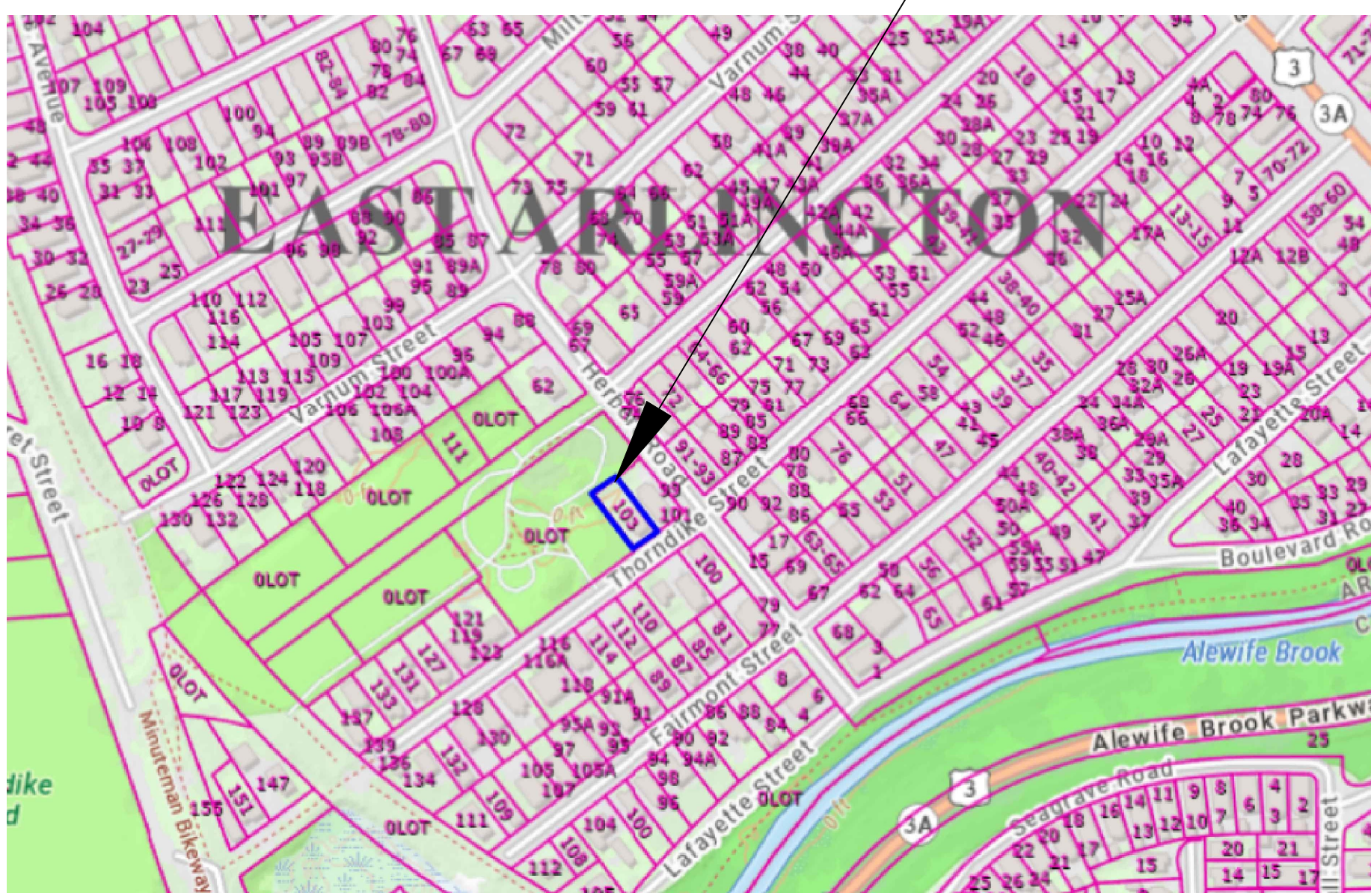
DRAINAGE AREAS

EXISTING	PROPOSED
BUILDING	665 SF
3 SEASON PORCH	139 SF
BACK PORCH	40 SF
SIDE WALKWAY	207 SF
DRIVEWAY	369 SF
FRONT WALKWAY	79 SF
TOTAL IMPERVIOUS	1,499
TOTAL IMPERVIOUS	1410 SF



Notes:
1. TYPICAL FOR DRIVEWAY AREA USE.
2. BRAND AND PRODUCT DETERMINED BY CLIENT.

Permeable Pavers Pavement Section
N.T.S.



SITE LAYOUT PLAN
103 THORNDIKE STREET
ARLINGTON, MASSACHUSETTS

DRAWN BY: ZLD
DESIGNED BY: CYM
CHECKED BY: CYM



PREPARED FOR:
CONSERVATION COMM.

1285 WASHINGTON STREET
WEYMOUTH, MA
(781) 335-1464

SHEET
C-1

103 THORNDIKE TOWNHOUSES

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE COMPLETE DEMOLITION OF THE EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW TWO-FAMILY RESIDENTIAL STRUCTURE. THE PROPOSED SITE PLAN HAS RECEIVED PRIOR APPROVAL FROM THE CONSERVATION DEPARTMENT, ENSURING COMPLIANCE WITH ENVIRONMENTAL REGULATIONS.

PROJECT ADDRESS 103 THORNDIKE ST
ARLINGTON, MA

PROJECT NUMBER 20-103-00

NUMBER	SHEET NAME
G400	ATTIC GSF CALCULATIONS
G100	COVER & GENERAL NOTES
G200	ZONING, SITE & AREA
G300	LAND SURVEY
A201	FLOOR PLANS
A202	FLOOR PLANS
A300	RENDERINGS
A302	ELEVATIONS
A301	ELEVATIONS
A900	SCHEDULES

ISSUED

PERMIT SET 09/17/2024

REV 1 11/20/2024

GENERAL NOTES

0. CODE COMPLIANCE

THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN STRICT COMPLIANCE TO THE 9TH EDITION OF THE MASSACHUSETTS BUILDING CODE & ALL APPLICABLE REGULATING AGENCIES. THE CONTRACTOR SHALL VERIFY ALL ACCESSIBLE COMPONENTS WITH THE 521CMR ARCHITECTURAL BOARD HANDBOOK.

1. PROTECTION OF EXISTING TO REMAIN

THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.

2. SCHEDULING

THE CONTRACTOR SHALL MEET WITH THE OWNER'S AUTHORIZED REPRESENTATIVE WELL IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION

3. CLEARANCES

THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.

4. MATERIAL ALIGNMENT

THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.

5. AS BUILT VERIFICATION

THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.

6. REMOVAL SURVEY

THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.

7. CONSTRUCTION DEFECTS

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.

8. CORRECTING DEFECTIVE WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.

9. PIPING

ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.

10. FIXTURE REMOVAL

REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.

11. COORDINATION

COORDINATE PLANS FOR NEW CONSTRUCTION W/ DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.

DEMOLITION NOTES

1. DRAWINGS SHOW THE INTENT OF THE ARCHITECTURAL DEMOLITION BASED ON PRELIMINARY FIELD INVESTIGATIONS. ADDITIONAL DEMOLITION MAY BE REQUIRED BASED ON THE DISCOVERY OF UNFORESEEN EXISTING CONDITIONS IN FIELD. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS BEFORE PROCEEDING.

2. SHORE, BRACE, UNDERPIN OR OTHERWISE SUPPORT STRUCTURE WHICH MAY BE TEMPORARLY WEAKENED BY DEMO WORK. DO NOT MODIFY, ALTER STRUCTURAL FRAMING OR STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.

3. IN THE EVENT THAT HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION, DO NOT PROCEED AND NOTIFY THE OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY THE OWNER.

4. ALL UNUSED UTILITIES SHALL BE CAPPED AND SHUT OFF PER CITY AND STATE REQUIREMENTS.

5. NO JACK HAMMERS ARE ALLOWED AT MASONRY OR CONCRETE WORK AREA WITHOUT THE APPROVAL OF THE ARCHITECT.

6. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE. EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF DEMOLITION WORK SHALL BE PREPARED, PATCHED, AND FINISHED TO MATCH ADJACENT SURFACES WHERE APPLICABLE.

7. PREPARE FOR AND PROTECT THE SAFETY AND FUNCTION OF EXISTING SERVICES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.

8. PROTECT ALL EXISTING FLOORS, WALLS, PARTITIONS, AND CEILINGS TO REMAIN.

9. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL RUBBISH, DEMOLITION MATERIALS AND DEBRIS CAUSED BY DEMOLITION.

10. REMOVE TEMPORARY PARTITIONS DOORS AND FRAMES AT THE CONCLUSION OF THE PROJECT. PATCH AND OR REPLACE ADJACENT SURFACES.

11. DEMOLISH AND REMOVE PARTITIONS, FINISHES, EQUIPMENT AND MATERIALS WHICH ARE INDICATED FOR DEMOLITION OR REQUIRED TO BE REMOVED IN ORDER TO PERMIT CONSTRUCTION.

12. FLOORS THAT ARE TO ACCEPT NEW FLOOR FINISHES SHALL BE GROUND, SCARIFIED, AND/OR ETCHED AS NECESSARY TO COMPLETELY REMOVE OLD FINISHES AND ADHESIVES. DO NOT DAMAGE GWB ABOVE BASE IN AREAS TO REMAIN.

13. DIMENSIONED AREAS OF PARTITIONS TO BE REMOVED ARE FOR FUTURE OPENINGS. ACTUAL OPENING SIZE MAY VARY DEPENDING ON EXISTING PARTITION FRAMING. THE OPENING IS ASSUMED TO BE AS LARGE AS REQUIRED TO MEET THE NEW OPENING FRAME OR OPENING SIZE.

14. VERIFY IN FIELD ALL EXISTING CONDITIONS AND DIMENSIONS, TYPICAL.

15. THESE DOCUMENTS INTEND TO ILLUSTRATE THE SCOPE OF DEMOLITION. ANY ITEM FOUND ON THE SITE IN AN AREA TO BE DEMOLISHED OR CONNECTED TO AN ITEM TO BE REMOVED IS ALSO TO BE REMOVED UNLESS IT EITHER A) SUPPORTS AN EXISTING ITEM OR B) WILL SUPPORT A PROPOSED ITEM.

WINDOW/DOOR NOTES

1. CONTRACTOR TO CONFIRM ALL R.O. SIZES & INSTALL PER MANUFACTURER INSTRUCTIONS. ALL WINDOWS AND DOORS IN ARCH. DRAWINGS ARE NOMINAL DIMENSIONS.

2. ALL WINDOWS ARE TO BE TEMPERED WHEN ADJACENT TO AN EXTERIOR SWINGING DOOR OR BELOW 18" A.F.F. OR WITHIN 5'-0" TO A SHOWER OR BATHTUB.

3. CONTRACTOR TO VERIFY NEW WINDOW SIZES WITH EXISTING CONDITIONS.

4. ALL WINDOWS AND DOORS MUST MEET FENESTRATION U-FACTOR OF .32 PER MASSACHUSETTS STRETCH ENERGY CODE.

5. INSTALL ICE AND WATER SHIELD AROUND ALL WINDOW OPENINGS AS PER MANUFACTURER'S RECOMMENDATION.

6. OWNER TO SELECT DOOR/WINDOW HARDWARE & ALL INTERIOR HARDWARD. CONTRACTOR TO COORDINATE.

7. OWNER TO SELECT EXTERIOR AND INTERIOR DOOR/WINDOW TRIM, STYLE, AND/OR FINISHES. FOR RENOVATIONS WHERE EXISTING DOORS AND WINDOWS ARE TO REMAIN, NEW DOORS AND WINDOWS ARE INTENDED TO MATCH. CONTRACTOR TO COORDINATE.

8. EGRESS WINDOWS - EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. SINGLE-HUNG AND DOUBLE-HUNG WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 3.3 SQ FT. THE MINIMUM NET CLEAR OPENING DIMENSIONS SHALL BE 20 INCHES BY 24 INCHES IN EITHER DIRECTION.

9. PROVIDE WINDOW OPENING LIMITING DEVICES AT WINDOWS MORE THAN 6'-0" ABOVE GROUND.

CODE SUMMARY

APPLICABLE CODES AND STANDARDS

BUILDING CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

STUCTURAL CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION

FIRE CODE:
527 CMR 1.00: MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE

MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE – 2015 EDITION

PLUMBING CODE:
248 CMR MASSACHUSETTS STATE PLUMBING CODE

ELECTRICAL CODE:
NFPA 70-2020 WITH 527 CMR CHAPTER 12 MASSACHUSETTS ELECTRICAL CODE AMENDMENTS

ENERGY CODE:
780 CMR THE MASSACHUSETTS STATE BUILDING CODE – NINTH EDITION, CHAPTER 13, 2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2023 MASSACHUSETTS AMENDMENTS.

ACCESSIBILITY:
521 CMR ARCHITECTURAL ACCESS BOARD RULES AND REGULATIONS

GRAPHIC LEGEND

	FIRE SEPERATION
	RATED WALL - 1 HR
	NEW WALL
	EXISTING WALL
	DEMOLISHED WALL
	EXISTING DOOR
	NEW DOOR
	BUILDING ELEVATION TAG
	SECTION TAG
	INTERIOR ELEVATION TAG
	DOOR TAG
	WINDOW TAG
	REVISION & NUMBER
	SPOT ELEVATION
	CENTER LINE
	SMOKE DETECTOR
	SMOKE AND CARBON MONOXIDE DETECTOR
	EXIT SIGN
	EMERGENCY LIGHT
	FIRE EXTINGUISHER

ABBREVIATIONS

#	Pound OR Number
&	And
@	At
ACT	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
BSMT	Basement
BYND	Beyond
BOT	Bottom
CIP	Cast In-Place
CHNL	Channel
CJ	Control Joint
CL	Center Line
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONT	Continuous
CPT	Carpet
CT	Ceramic Tile
CTYD	Courtyard
DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIM	Dimension
DIMS	Dimensions
DN	Down
DR	Door
DWG	Drawing
EA	Each
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPOM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
EXIST	Existing
EXP JT	Expansion Joint
EXT	Exterior
FD	Floor Drain or Fire Department
FEC	Fire Extinguisher Cabinet
FF	Finished Face or Finished Floor
FFL	Finished Floor Level
FIXT	Fixture
FLR	Floor
FM	Filled Metal
FO	Fase Of
FND	Foundation
GA	Gauge
GA/LV	Galvanized
GWB	Gypsum Wall Board
HC	Hollow Core
HI	High
HM	Hollow Metal
HP	High Point
HR	Hour
HVAC	Heating, Ventilating, And Air Conditioning
IRGWB	Impact Resistant Gypsum Wall Board
IL	In Lieu Of
INSUL	Insulated or Insulation
INT	Interior
LO	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
NIC	Not In Contract
NO	Number
NOM	Normal
OC	On Center
OH	Overhang or Opposite Hand
OPP	Opposite or Opposite Hand
OZ	Ounce
POC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQD	Required
RM	Room
SIM	Similar
SD	Smoke Detector
SPFC	Specified OR Specification
SPK	Sprinkler or Speaker
SSTL	Stainless Steel
STL	Sound Transmission Coefficient
STRUCT	Structure or Structural
T&G	Tongue And Groove
TELE	Telephone
TLT	Toilet
TME	To Match Existing
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
T/D	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
U/S	Underside
VIF	Verify In Field
VP	Vision Panel
W/	With
WO	Wood

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
-----	-------------	------

KEY PLAN

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	As indicated

SHEET NAME

COVER & GENERAL NOTES

.G100

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

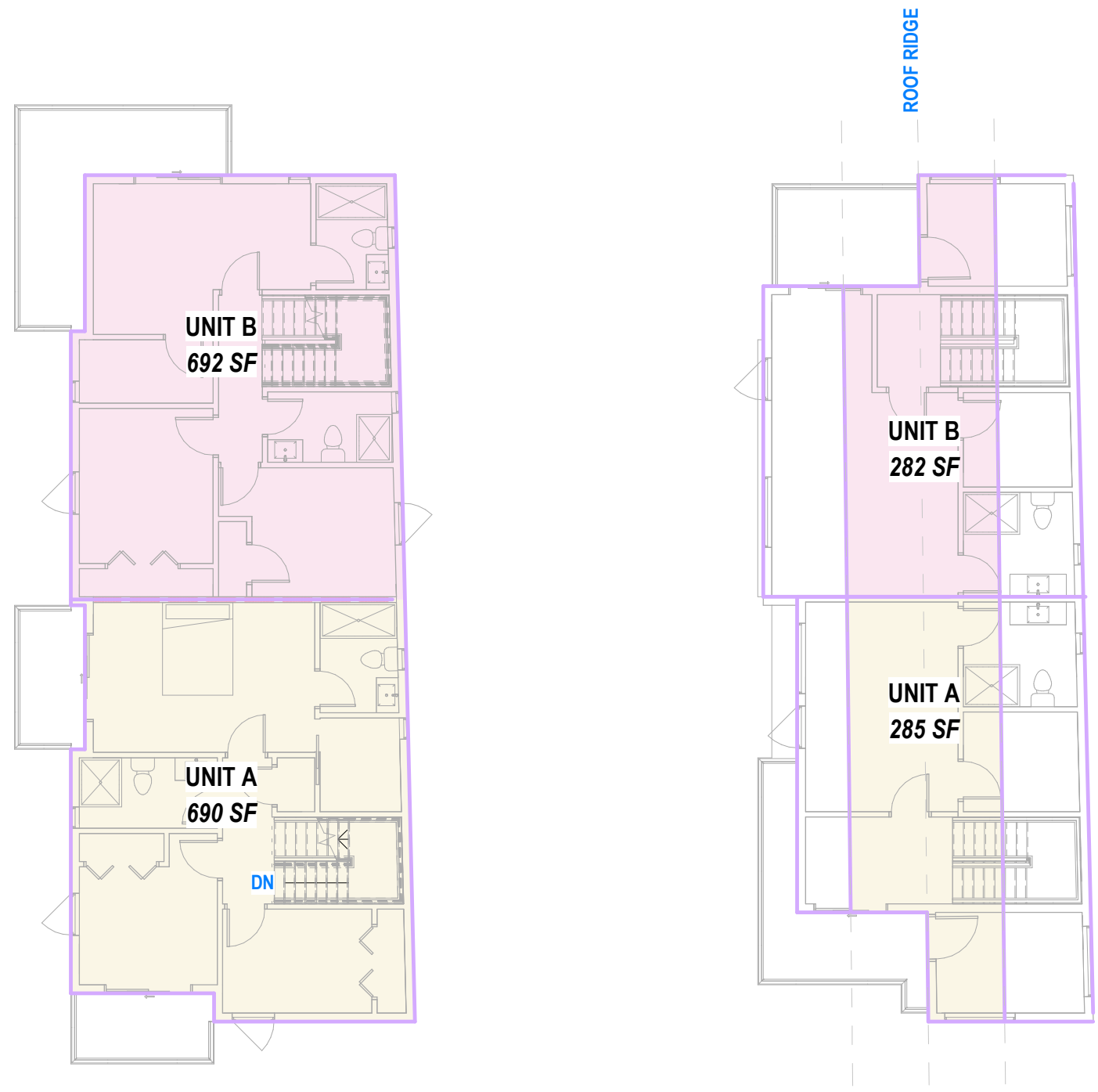
STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA

ZONING COMPLIANCE TABLE					
ZR	Item/Description	Existing	Permitted / Required	Proposed	Complan...
	USES	1 FAMILY	2-FAMILY	2-FAMILY	
	FAR	-	-	-	
	FLOOR AREA	1,263 SF	-	3,470 SF	BASEMENT AND CEILING UNDER 7" EXCLUDED
	LOT SIZE	4377.6 SF	4377.6 SF	4377.6 SF	
	LOT COVERAGE	23.6%	35%	33.5%	
	PARKING	2	2	2	DRIVEWAY
SETBACK & HEIGHT	NORTH	47.8'	20.0'	20.0'	
	EAST	6.6'	10.0'	10.0'	
	SOUTH (STREET)		20.0'	20.0'	
	WEST	11.9'	10.0'	10.0'	
	MAX BUILDING HEIGHT	-	35'	35'	

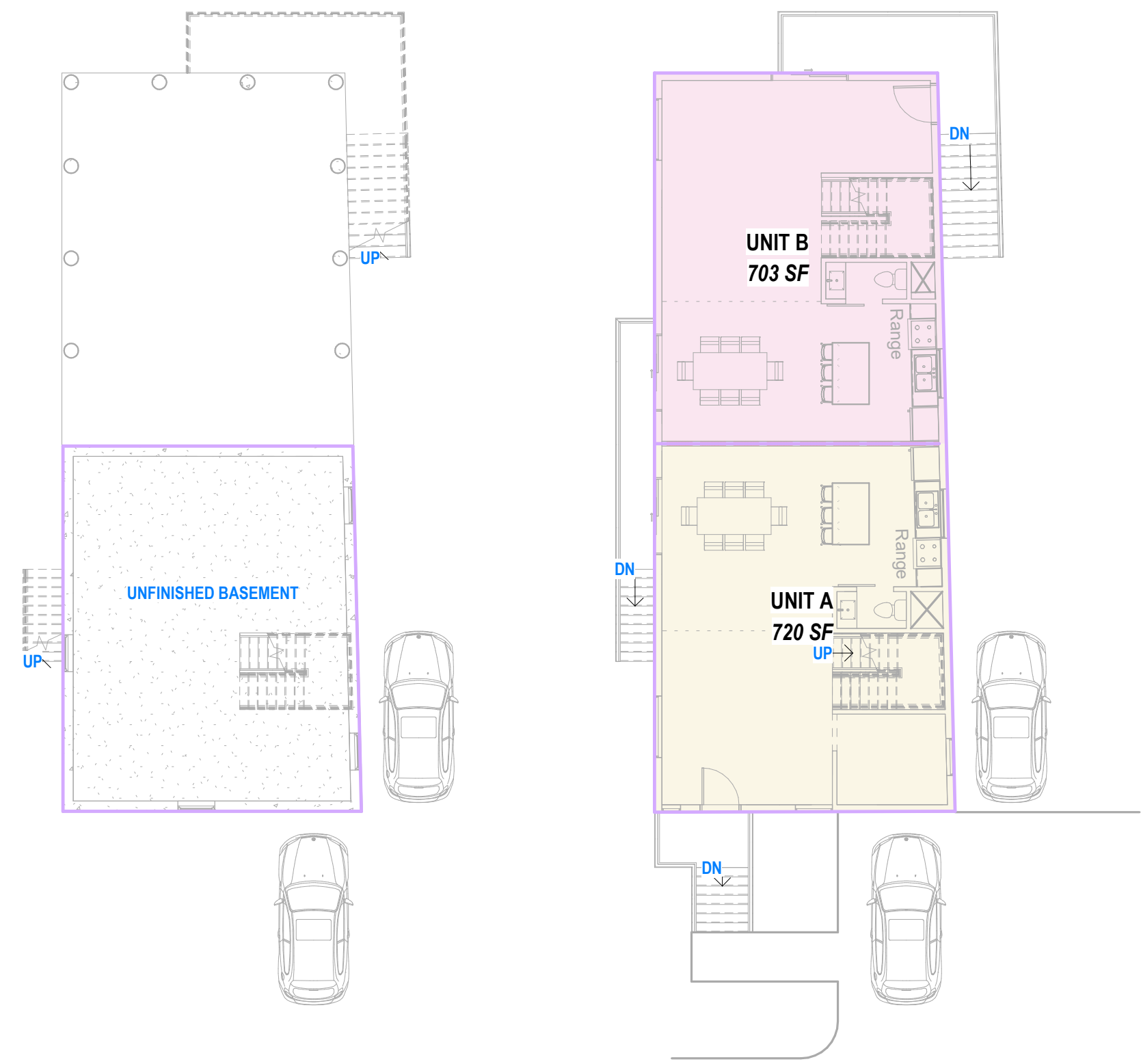
GROSS FLOOR AREA, PROPOSED		
Name	Level	Area
UNIT A	LEVEL 1	720 SF
UNIT A	LEVEL 2	690 SF
UNIT A	LEVEL ATTIC	285 SF
		1694 SF
UNIT B	LEVEL 1	703 SF
UNIT B	LEVEL 2	692 SF
UNIT B	LEVEL ATTIC	282 SF
		1677 SF
Grand total		3372 SF

GROSS FLOOR AREA, PROPOSED BY LEVEL		
Level	Name	Area
LEVEL 1	UNIT A	720 SF
LEVEL 1	UNIT B	703 SF
		1423 SF
LEVEL 2	UNIT A	690 SF
LEVEL 2	UNIT B	692 SF
		1382 SF
LEVEL ATTIC	UNIT A	285 SF
LEVEL ATTIC	UNIT B	282 SF
		566 SF
Grand total		3372 SF



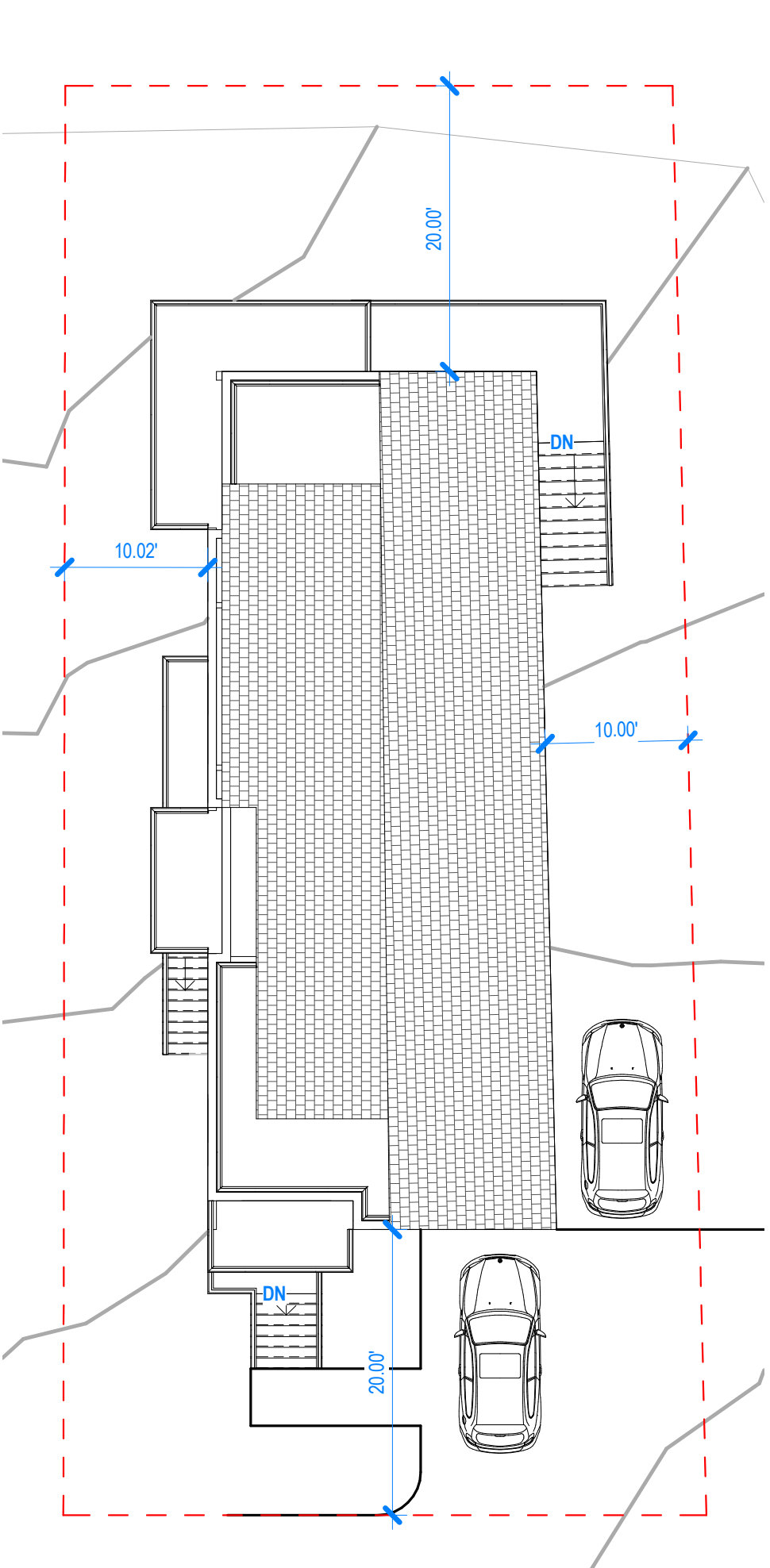
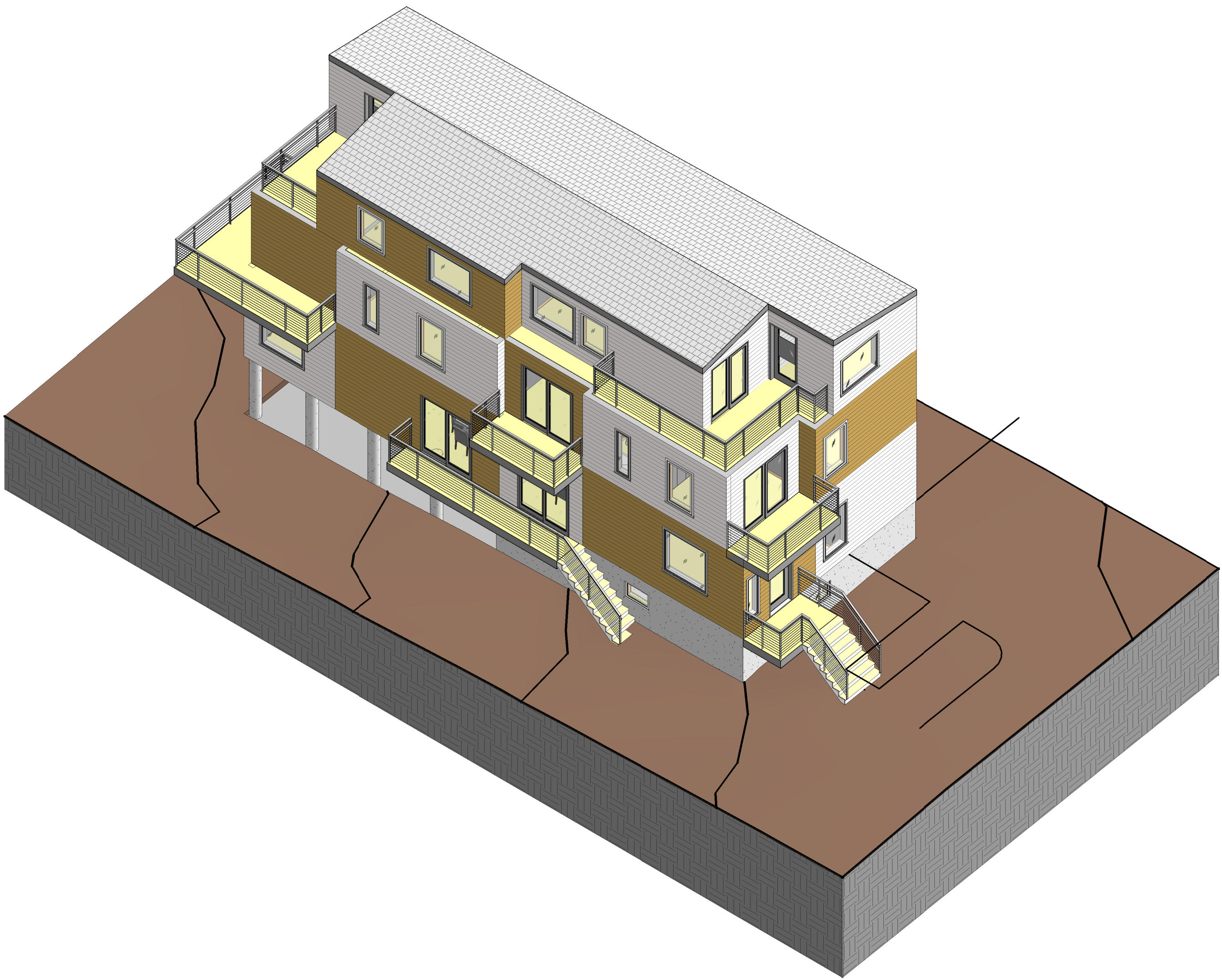
3 LEVEL 2 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

4 LEVEL ATTIC GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

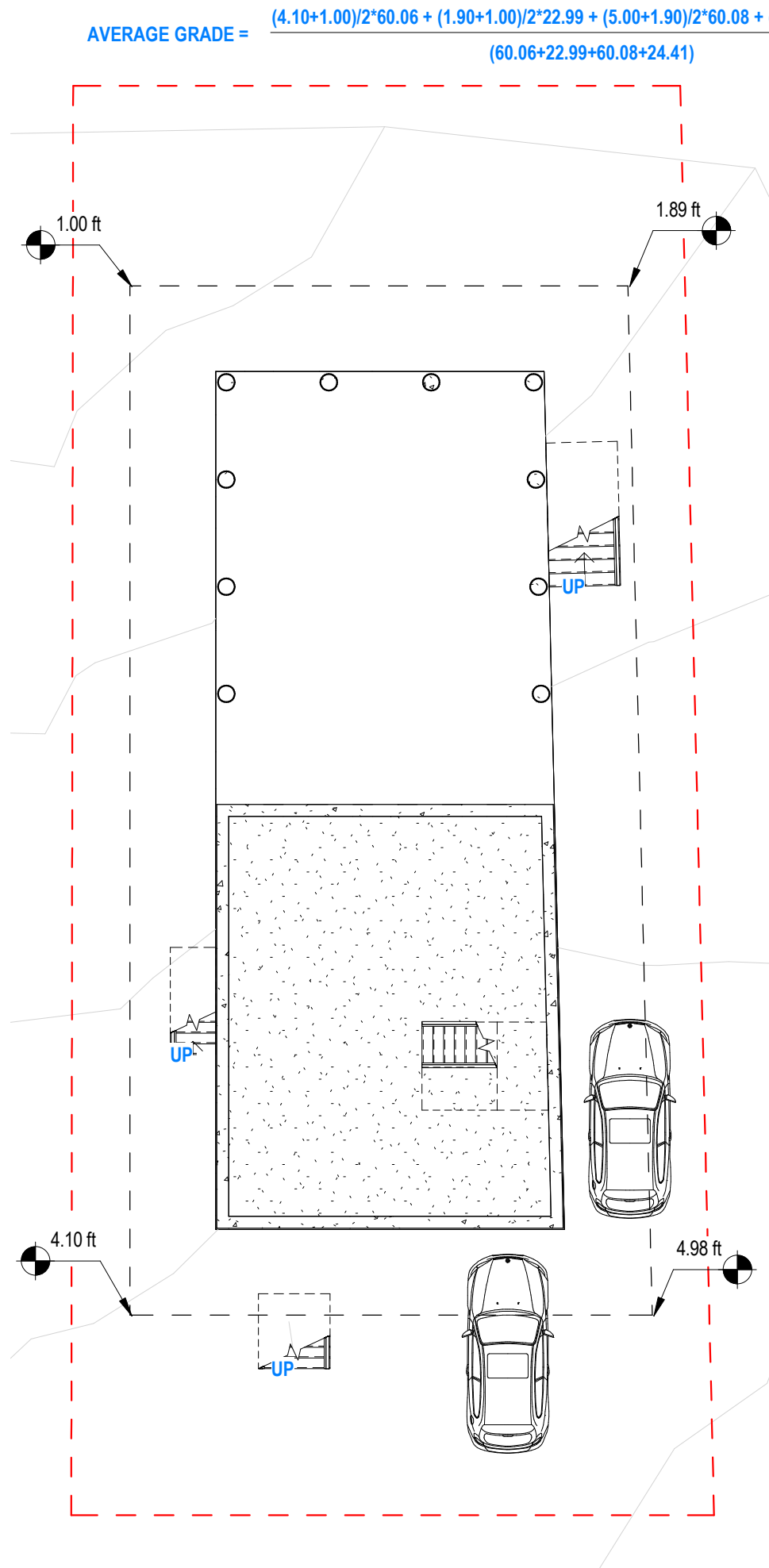


1 LEVEL 0 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"

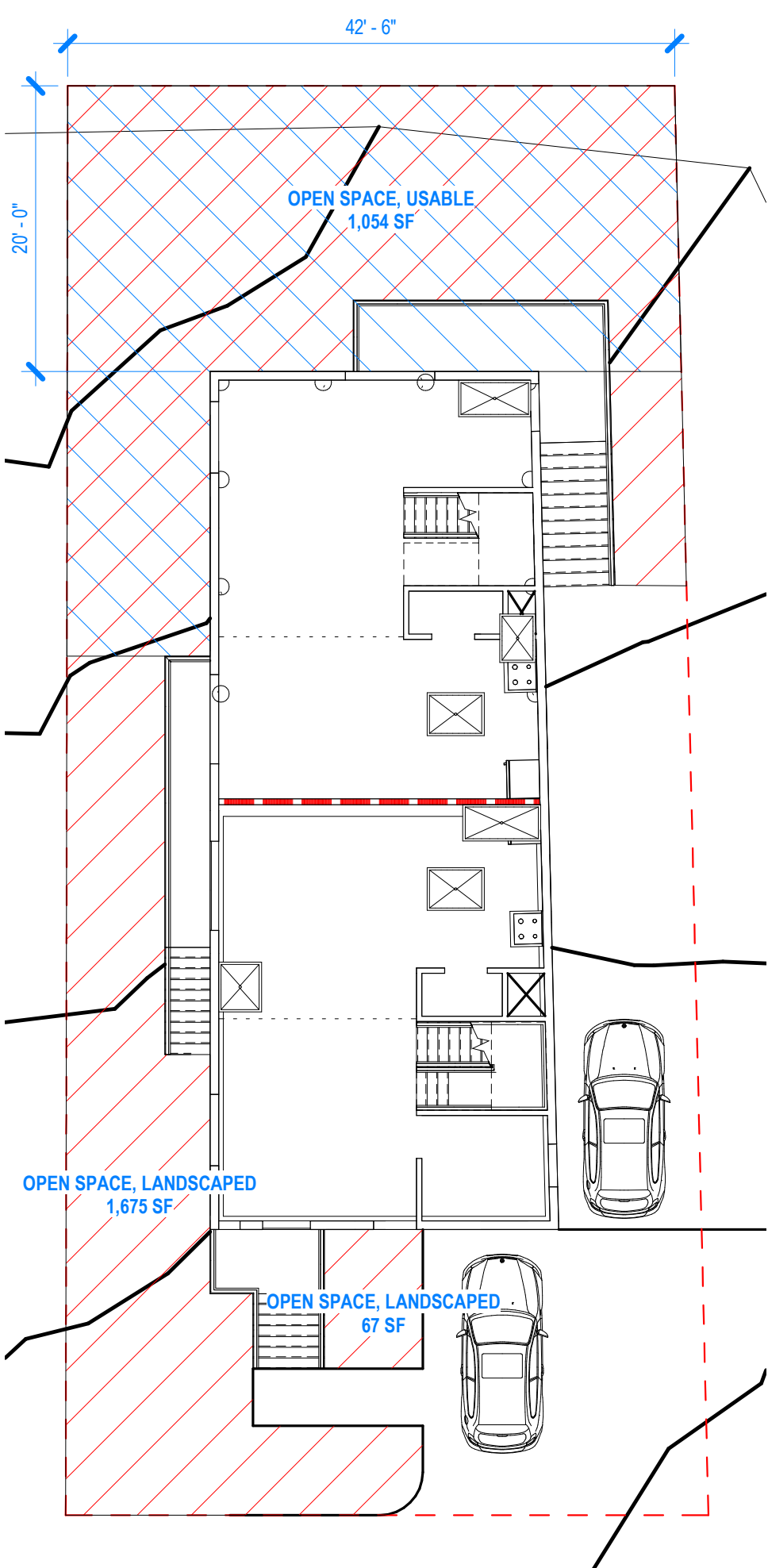
2 LEVEL 1 GROSS FLOOR AREA, PROPOSED
3/32" = 1'-0"



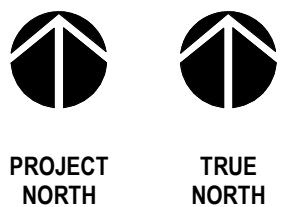
5 SITE PLAN, PROPOSED
3/32" = 1'-0"



6 AVERAGE GRADE CALCULATION
3/32" = 1'-0"



7 OPEN SPACE, PROPOSED
3/32" = 1'-0"



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE
0 8'-0" 16'-0" 32'-0"
SCALE: 3/32" = 1'-0"

SHEET NAME

ZONING, SITE & AREA

.G200



NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	

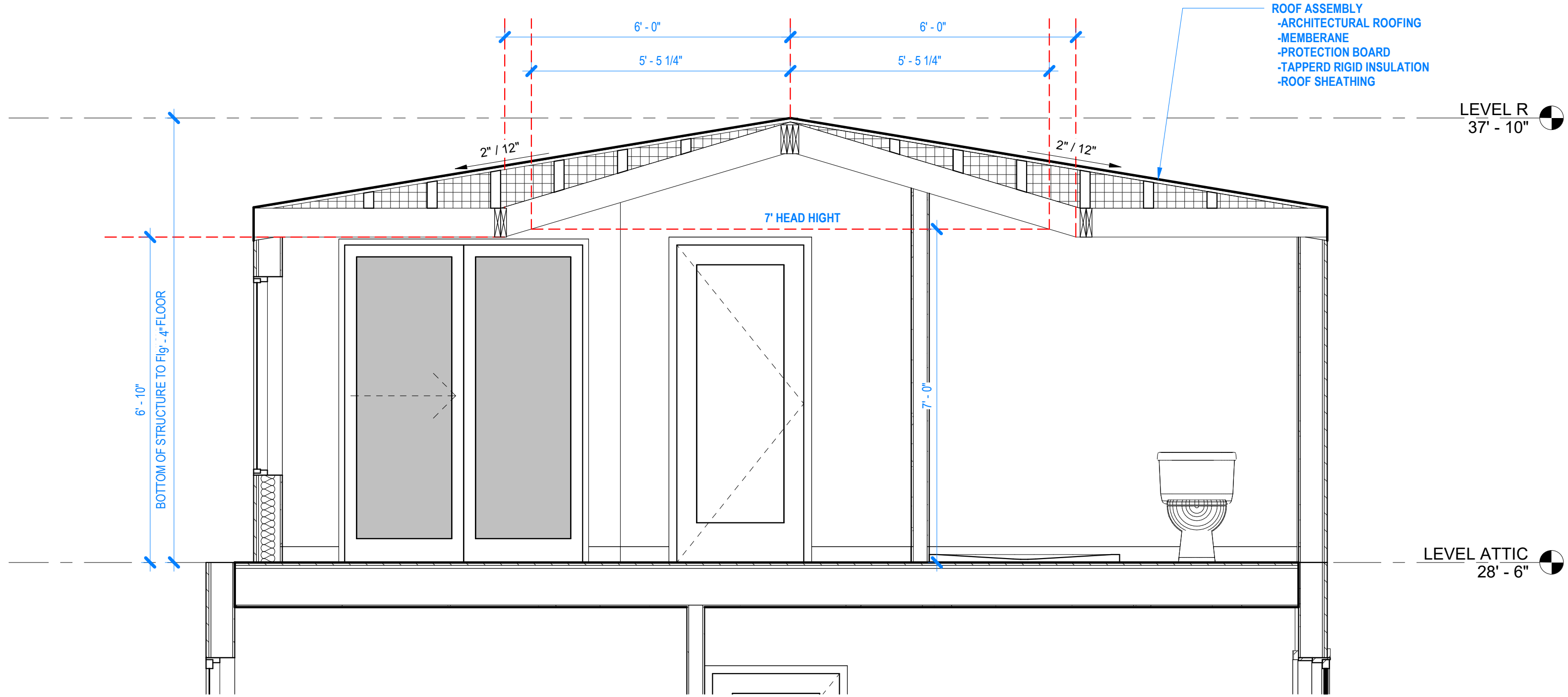
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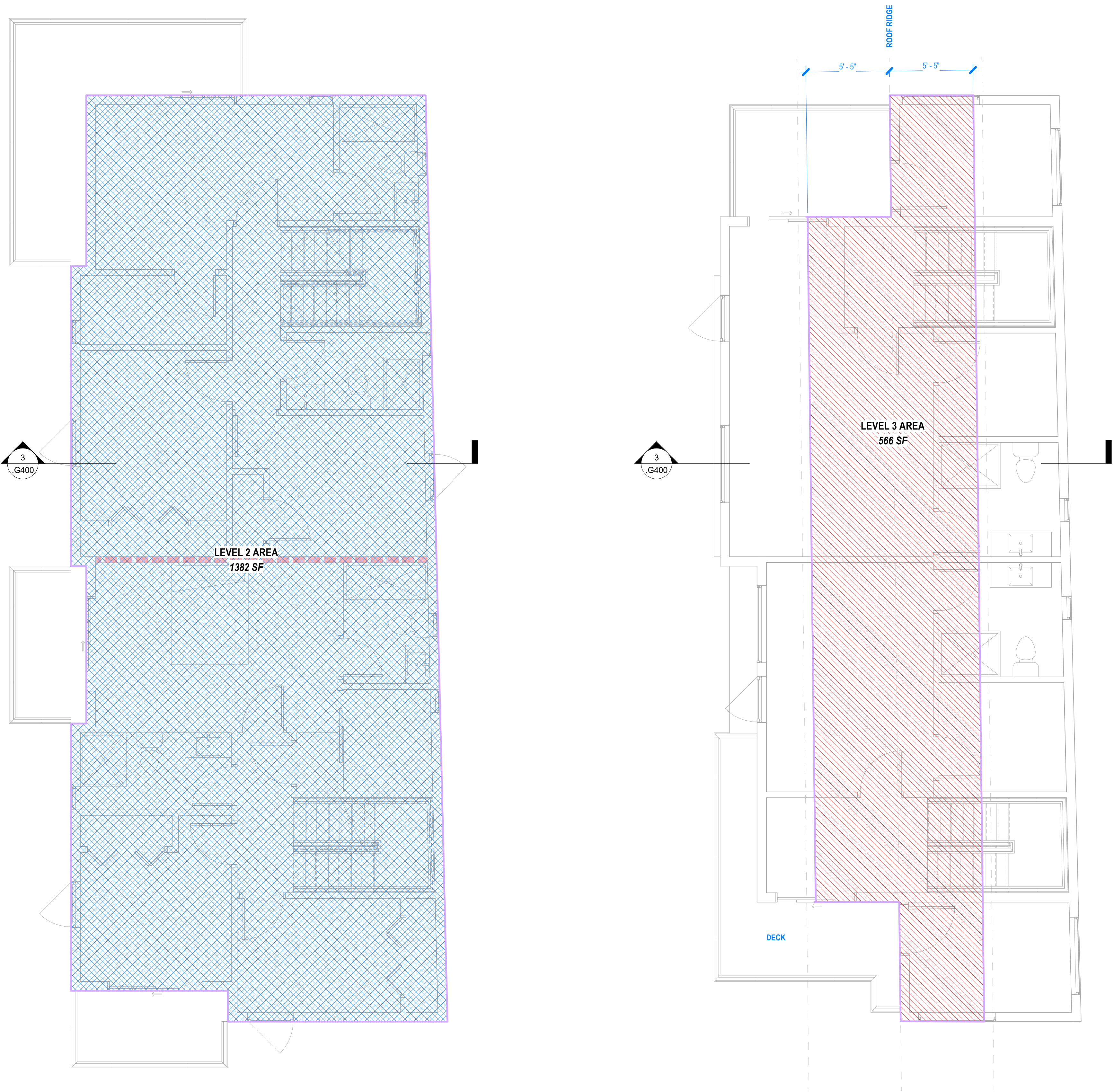
ATTIC SQUARE FOOTAGE:

TOTAL 2ND FLOOR FOOTPRINT = 1,382 SQUARE FEET
ALLOWABLE SQUARE FOOTAGE > 7'-0" = 691 SQUARE FEET

(50% OF TOTAL FOOTPRINT)
PROPOSED SQUARE FOOTAGE > 7'-0" = 566 SQUARE FEET



3 SECTION ATTIC
1/2" = 1'-0"



1 LEVEL 2 - FLOOR AREA
1/4" = 1'-0"

2 LEVEL ATTIC - FLOOR AREA
1/4" = 1'-0"

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBBURN, MA

STRUCTURAL ENGINEER
AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY Author
CHECKED BY Checker
SHEET ISSUE DATE 09/23/24
SCALE As indicated

SHEET NAME
ATTIC GSF
CALCULATIONS

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

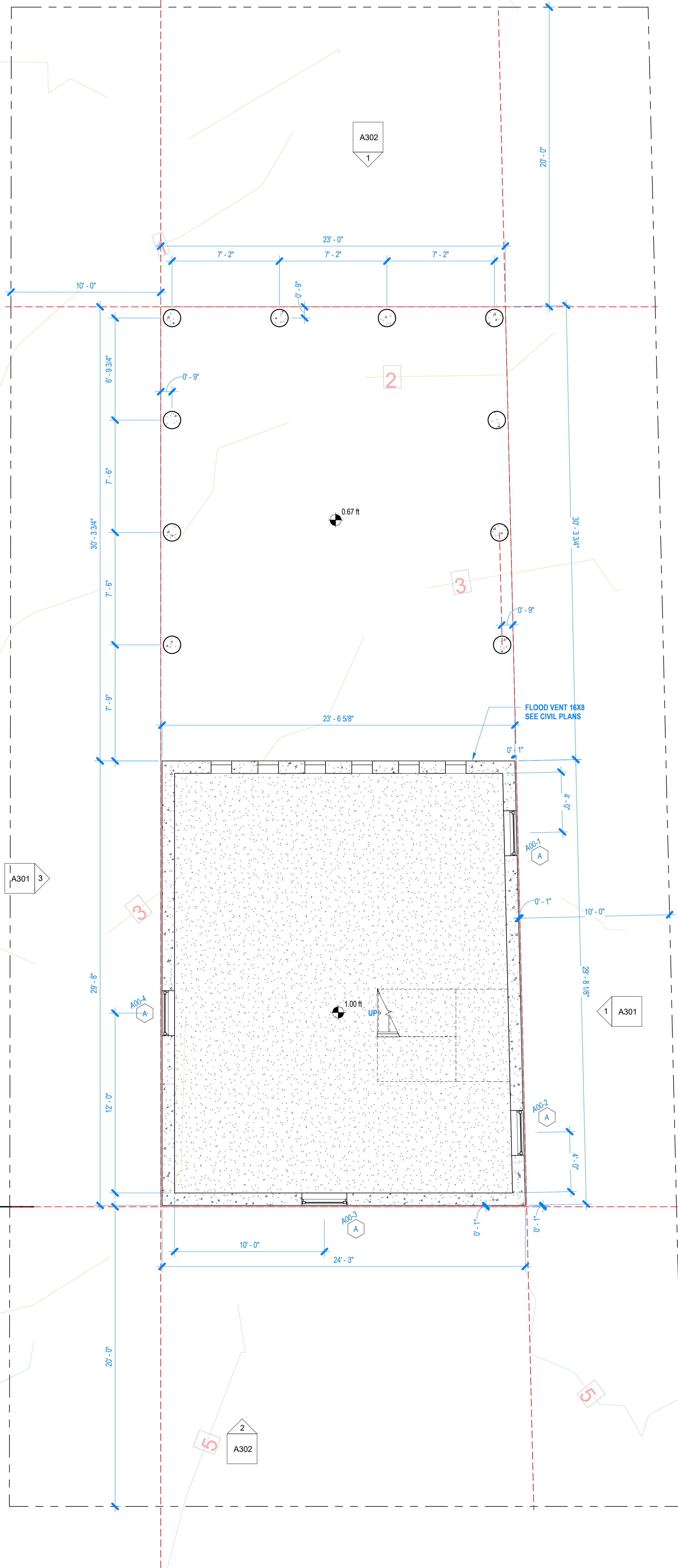
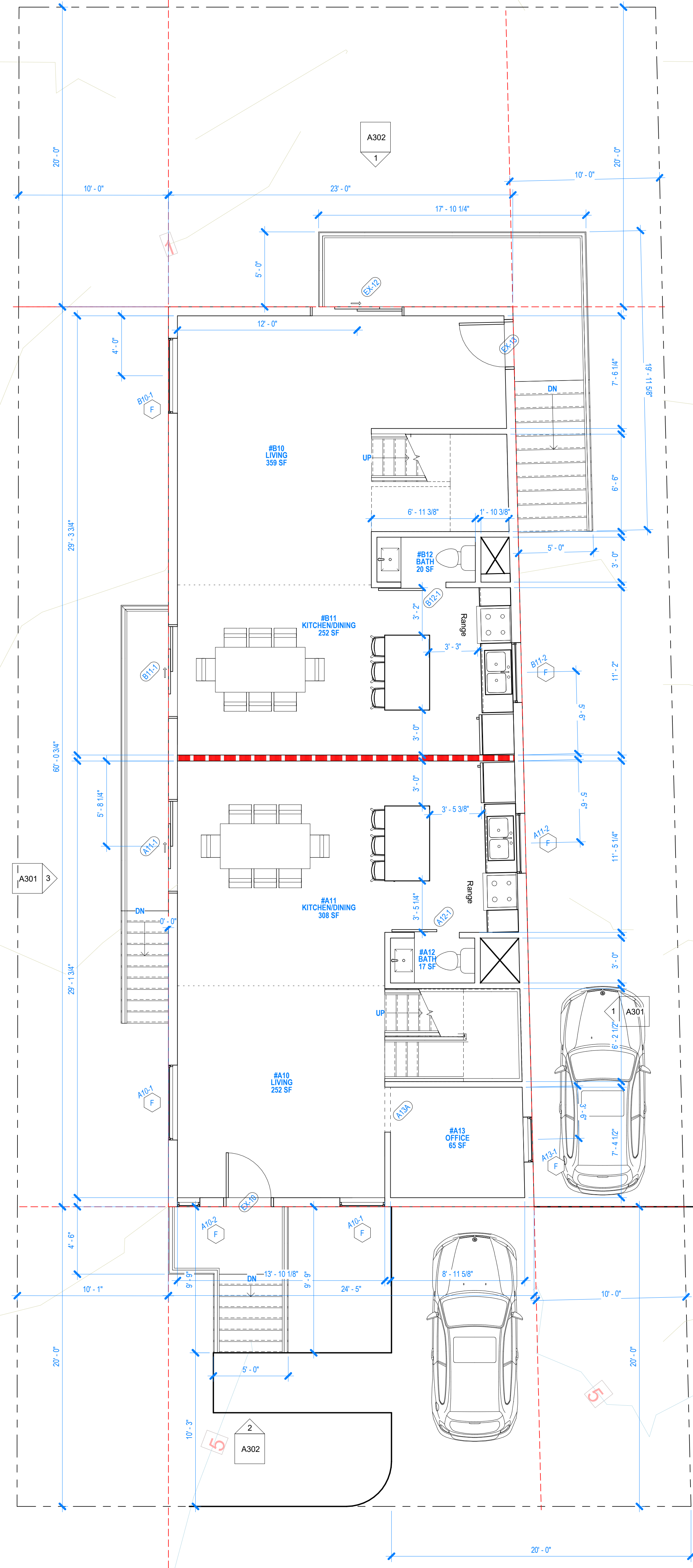
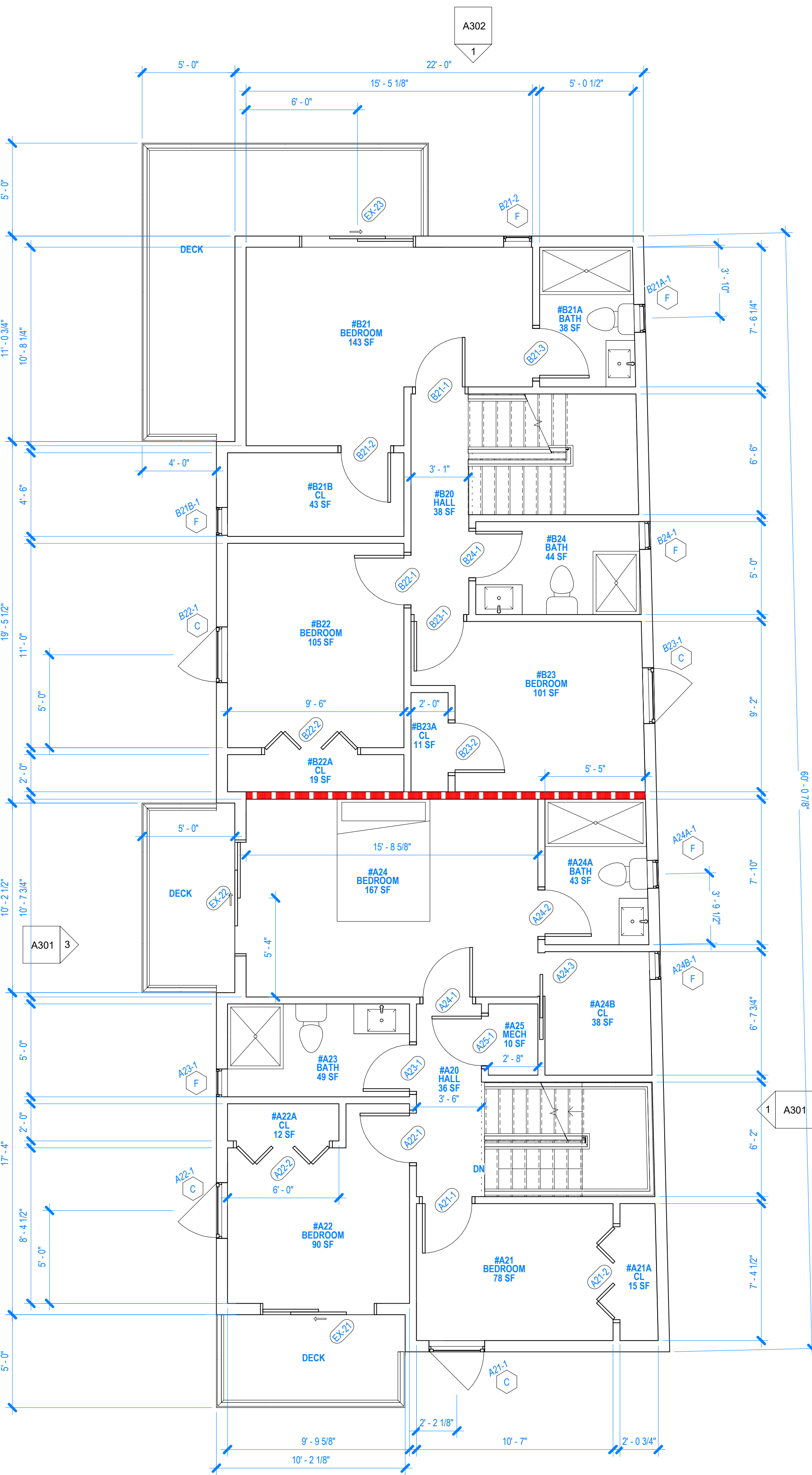
Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME

FLOOR
PLANS

A201



1 LEVEL 2 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

2 LEVEL 1 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

3 LEVEL 0 FLOOR PLAN, PROPOSED
1/4" = 1'-0"

OWNER
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER
AGILE ENGINEERING, LLC
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103 THORNDIKE
TOWNHOUSES

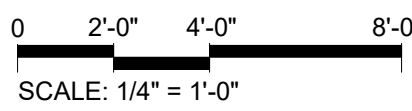
PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

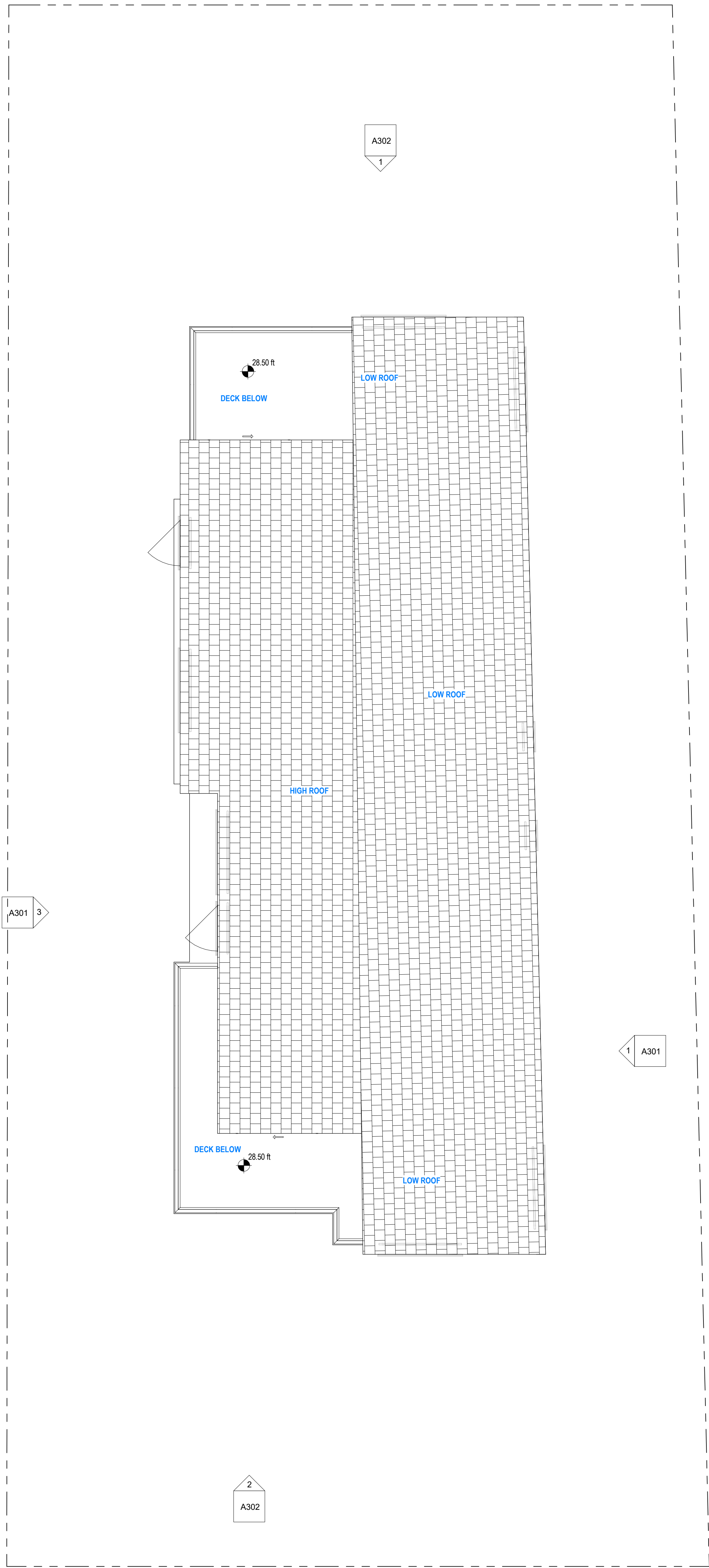
Author
Checker
09/17/24
1/4" = 1'-0"



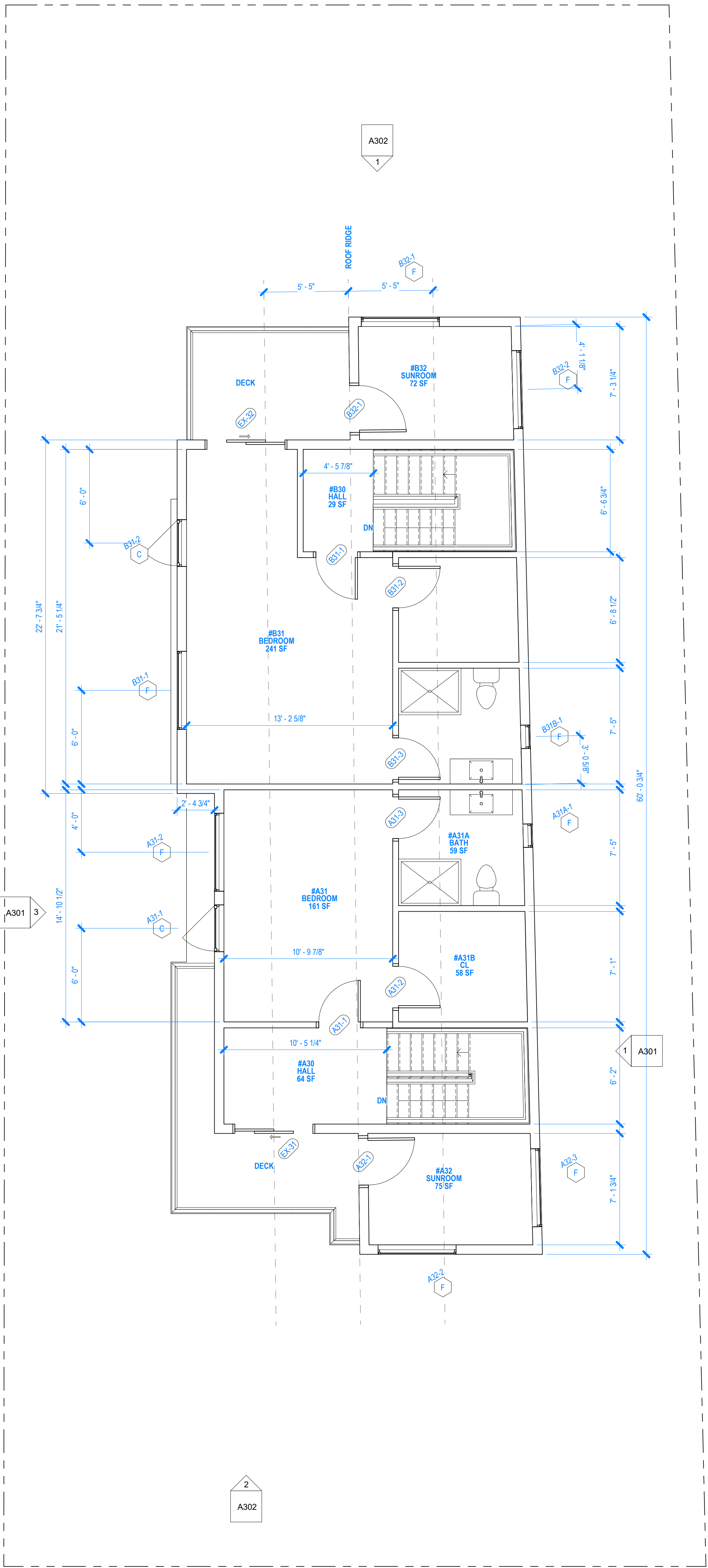
SHEET NAME

FLOOR
PLANS

A202



2 LEVEL R FLOOR PLAN, PROPOSED
1/4" = 1'-0"



1 LEVEL ATTIC FLOOR PLAN, PROPOSED
1/4" = 1'-0"

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

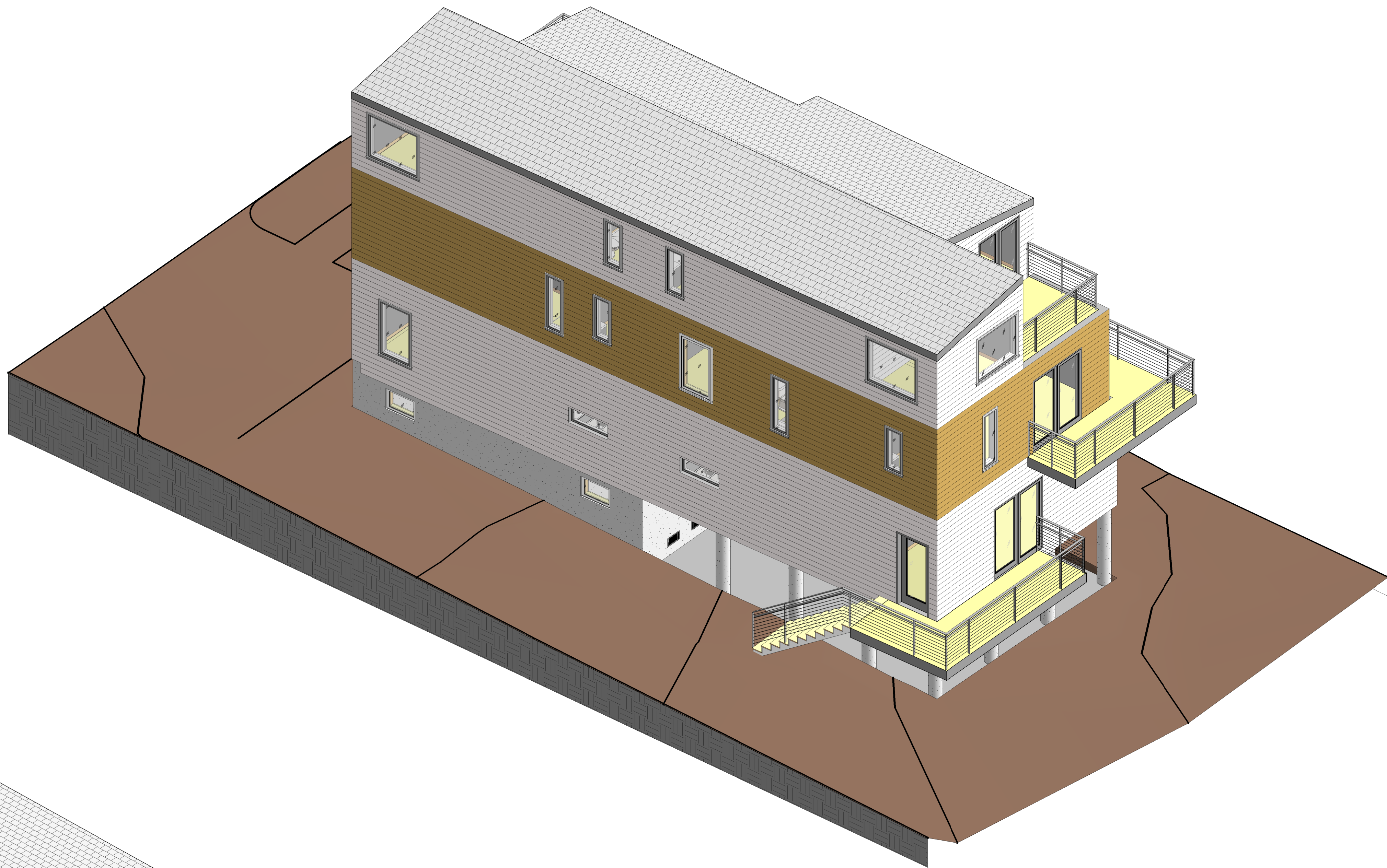
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DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	

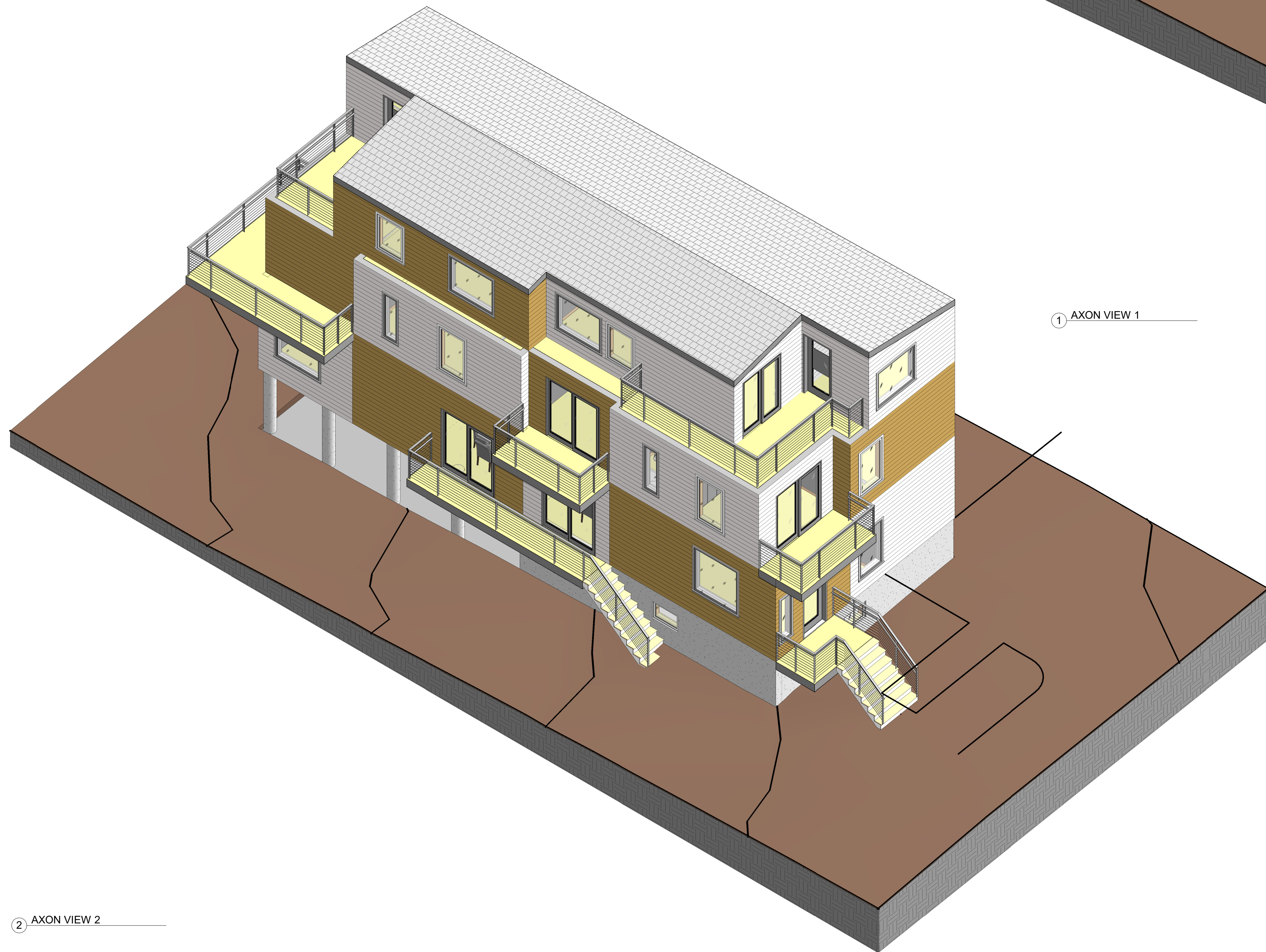
SHEET NAME

RENDERINGS

A300



1 AXON VIEW 1



2 AXON VIEW 2

OWNER

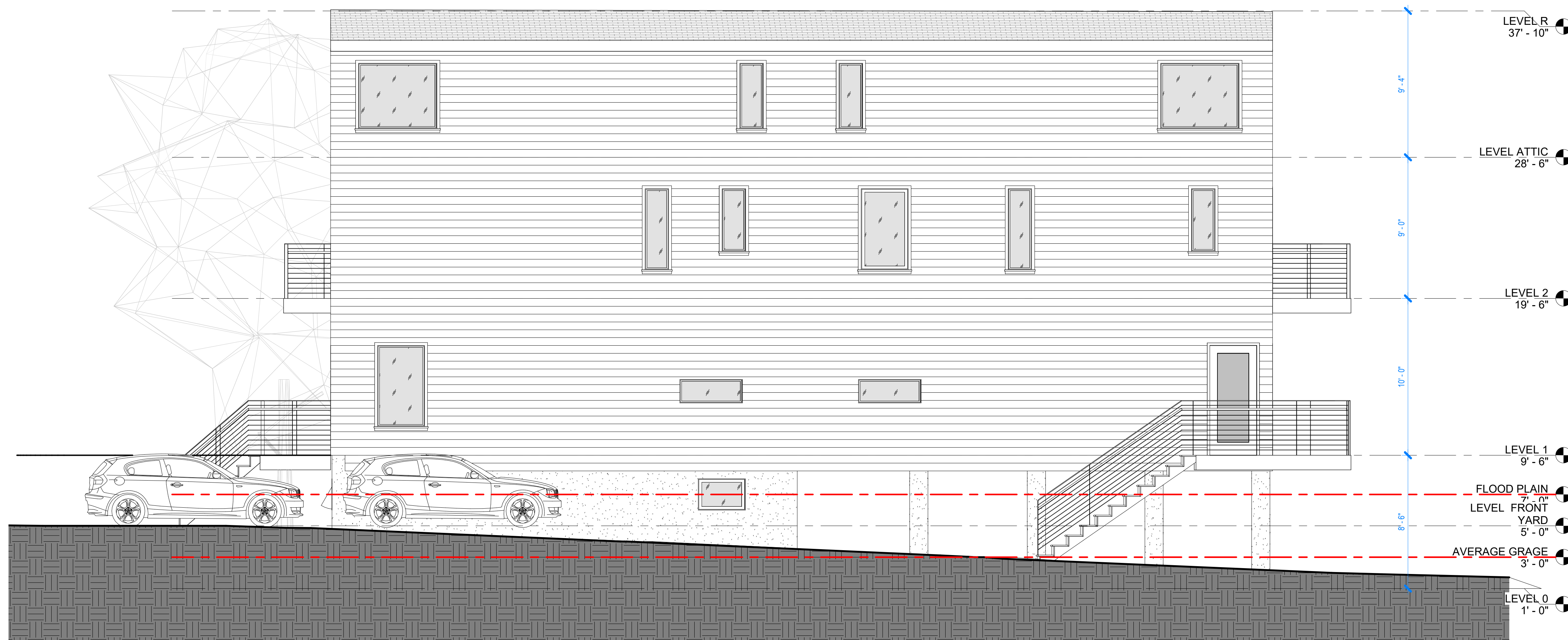
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



1 BUILDING ELEVATION EAST, PROPOSED
1/4" = 1'-0"



3 BUILDING ELEVATION WEST, PROPOSED
1/4" = 1'-0"



103 THORNDIKE TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY Author
CHECKED BY Checker
SHEET ISSUE DATE 09/17/24
SCALE 1/4" = 1'-0"
0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME ELEVATIONS

A301

OWNER

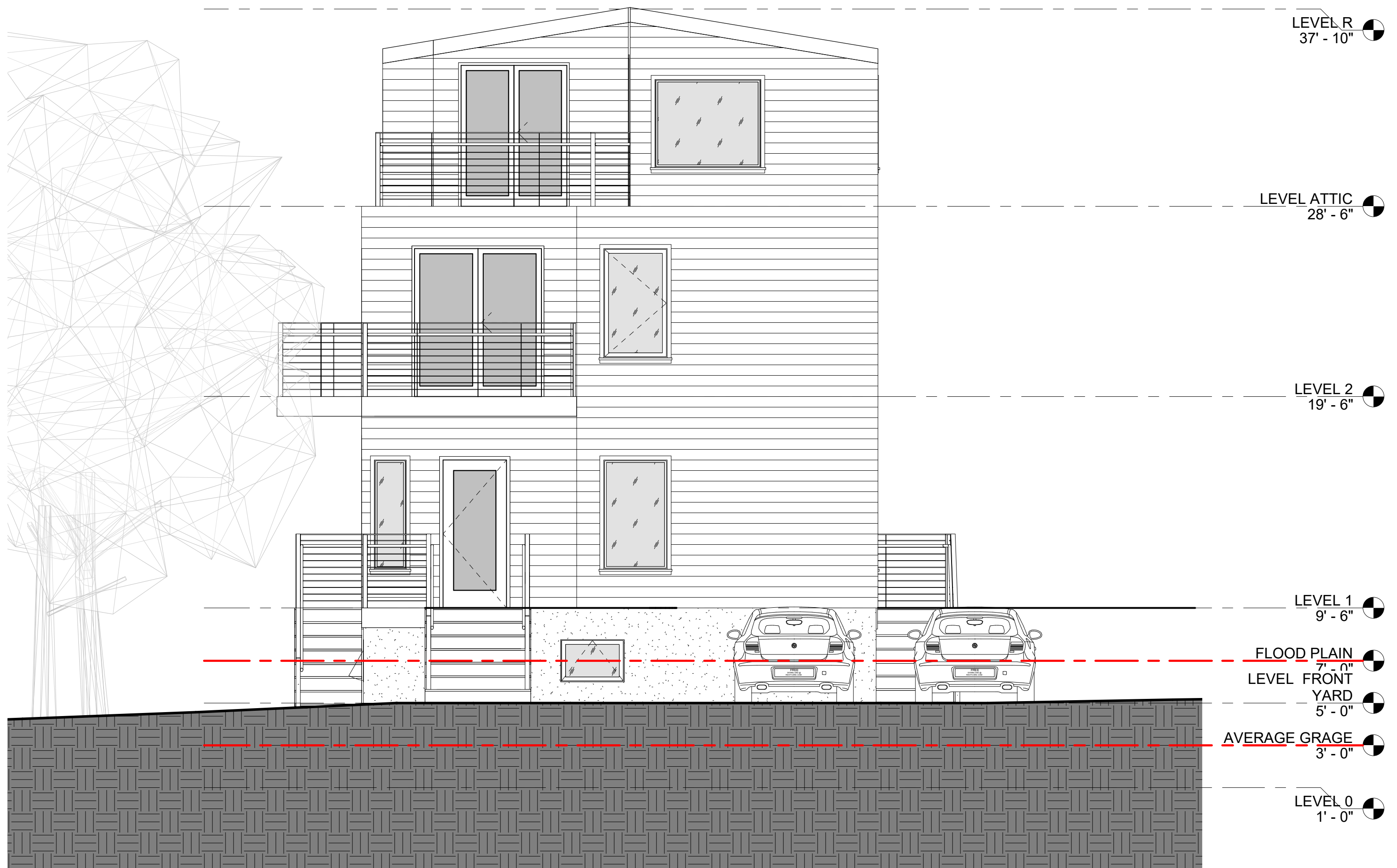
103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

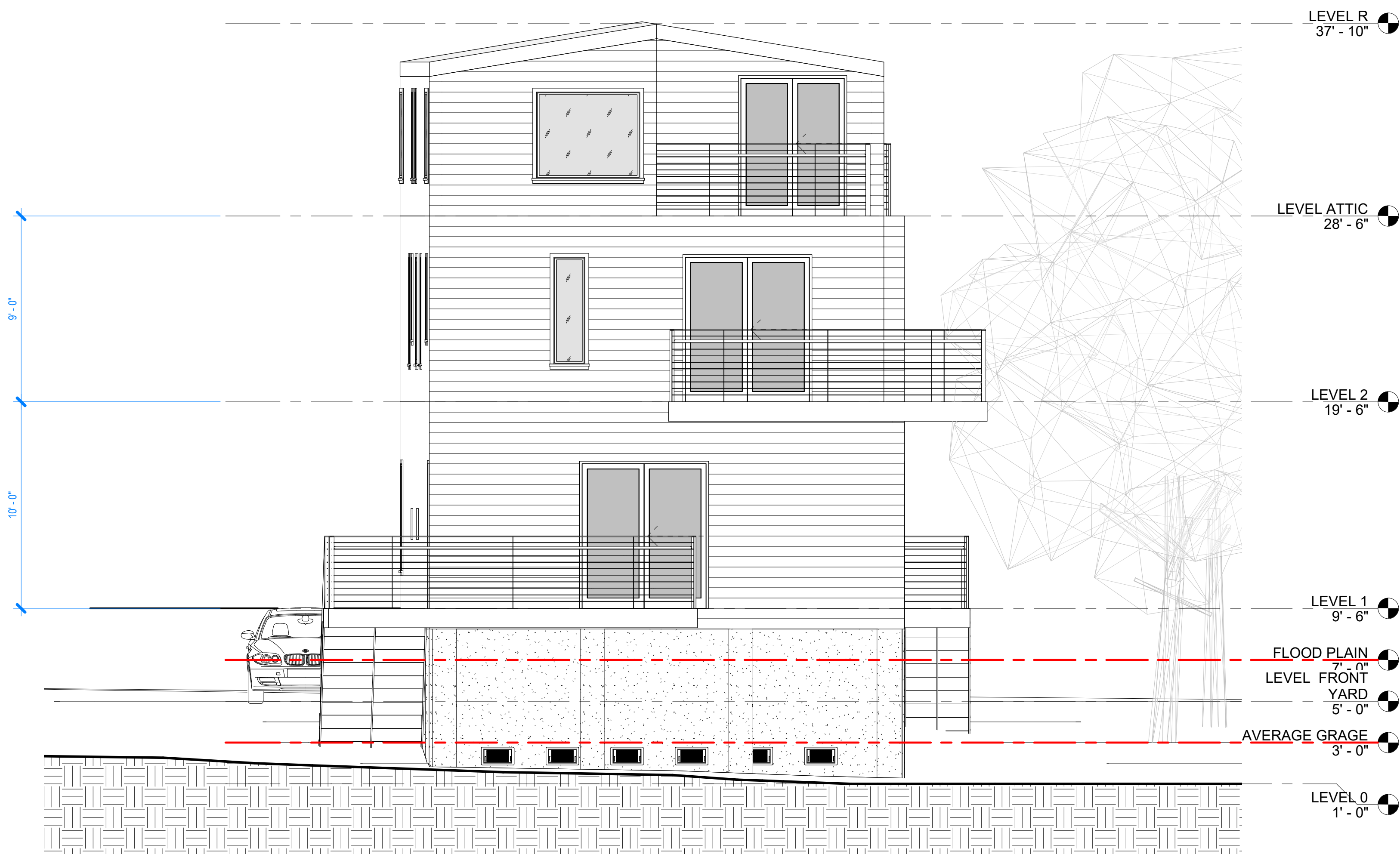
YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



② BUILDING ELEVATION SOUTH, PROPOSED
1/4" = 1'-0"



① BUILDING ELEVATION NORTH, PROPOSED
1/4" = 1'-0"



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
1	KEY PLAN	

DRAWN BY
CHECKED BY
SHEET ISSUE DATE
SCALE

Author
Checker
09/17/24
1/4" = 1'-0"

0 2'-0" 4'-0" 8'-0"
SCALE: 1/4" = 1'-0"

SHEET NAME
ELEVATIONS

DOOR SCHEDULE EXTERIOR								
Door Number	Function	Door Type	Level	Width	Height	From Room: Name	To Room: Name	Comments
A11-1	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	KITCHEN/DINING		
B11-1	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	KITCHEN/DINING		
EX-10	Exterior	SINGLE DOOR	LEVEL 1	3' - 0"	7' - 0"		LIVING	
EX-12	Exterior	SLIDING DOUBLE	LEVEL 1	6' - 0"	7' - 0"	LIVING		
EX-13	Exterior	SINGLE DOOR	LEVEL 1	3' - 0"	7' - 0"		LIVING	
LEVEL 1: 5								
EX-21	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
EX-22	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
EX-23	Exterior	SLIDING DOUBLE	LEVEL 2	6' - 0"	7' - 0"	BEDROOM		
LEVEL 2: 3								
A32-1	Exterior	SINGLE DOOR	LEVEL ATTIC	3' - 0"	7' - 0"		SUNROOM	
B32-1	Exterior	SINGLE DOOR	LEVEL ATTIC	3' - 0"	7' - 0"		SUNROOM	
EX-31	Exterior	LL	LEVEL ATTIC	5' - 0"	6' - 8"	HALL		
EX-32	Exterior	LL	LEVEL ATTIC	5' - 0"	6' - 8"	BEDROOM		
LEVEL ATTIC: 4								
Grand total: 12								

DOOR SCHEDULE INTERIOR								
Door Number	Function	Door Type	Level	Width	Height	From Room: Name	To Room: Name	Comments
A12-1	Interior	BARN DOOR	LEVEL 1	3' - 0"	8' - 0"	BATH	KITCHEN/DINING	
A13A	Interior	OPENING	LEVEL 1	3' - 0"	8' - 0"	LIVING	OFFICE	
B12-1	Interior	BARN DOOR	LEVEL 1	3' - 0"	8' - 0"	KITCHEN/DINING	BATH	
LEVEL 1: 3								
A21-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A21-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	BEDROOM	CL	
A22-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A22-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	CL	BEDROOM	
A23-1	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	HALL	BATH	
A24-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
A24-2	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	BEDROOM	BATH	
A24-3	Interior	POCKET	LEVEL 2	2' - 4"	8' - 0"	BEDROOM	CL	
A25-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	MECH	HALL	
B21-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B21-2	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	BEDROOM	CL	
B21-3	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	BEDROOM	BATH	
B22-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B22-2	Interior	BIFOLD	LEVEL 2	5' - 0"	8' - 0"	CL	BEDROOM	
B23-1	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	HALL	BEDROOM	
B23-2	Interior	SINGLE DOOR	LEVEL 2	2' - 8"	6' - 8"	CL	BEDROOM	
B24-1	Interior	SINGLE DOOR	LEVEL 2	2' - 6"	6' - 8"	HALL	BATH	
LEVEL 2: 17								

A31-1	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	HALL	BEDROOM	
A31-2	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM	CL	
A31-3	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM	BATH	
B31-1	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	HALL	BEDROOM	
B31-2	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM		
B31-3	Interior	SINGLE DOOR	LEVEL ATTIC	2' - 8"	6' - 8"	BEDROOM		
LEVEL ATTIC: 6								
Grand total: 26								

WINDOW SCHEDULE									
Phase Created	Window Number	Window Type	Description	Level	Nominal Sizes		Sill Height	Manufacturer	Comments
					Width	Height			
New Construction	A00-1	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-2	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-3	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
New Construction	A00-4	A	AWNING	LEVEL 0	3' - 0"	2' - 0"	5' - 0"		
LEVEL 0: 4									
New Construction	A10-1	F	FIXED	LEVEL 1	3' - 0"	5' - 2"	1' - 10"		
New Construction	A10-1	F	FIXED	LEVEL 1	5' - 0"	5' - 2"	3' - 0"		
New Construction	A10-2	F	FIXED	LEVEL 1	1' - 6"	5' - 2"	1' - 10"		
New Construction	A11-2	F	FIXED	LEVEL 1	4' - 0"	1' - 6"	3' - 4"		
New Construction	A13-1	F	FIXED	LEVEL 1	3' - 0"	5' - 2"	1' - 10"		
New Construction	B10-1	F	FIXED	LEVEL 1	5' - 0"	5' - 2"	1' - 10"		
New Construction	B11-2	F	FIXED	LEVEL 1	4' - 0"	1' - 6"	3' - 4"		
LEVEL 1: 7									
New Construction	A21-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A22-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A23-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		TEMPERED GLASS
New Construction	A24A-1	F	FIXED	LEVEL 2	1' - 6"	4' - 0"	3' - 0"		TEMPERED GLASS
New Construction	A24B-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B21-2	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B21A-1	F	FIXED	LEVEL 2	1' - 6"	4' - 0"	3' - 0"		TEMPERED GLASS
New Construction	B21B-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		
New Construction	B22-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B23-1	C	CASEMENT	LEVEL 2	3' - 0"	5' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B24-1	F	FIXED	LEVEL 2	1' - 6"	5' - 2"	1' - 10"		TEMPERED GLASS
LEVEL 2: 11									

New Construction	A31-1	C	CASEMENT	LEVEL ATTIC	3' - 0"	4' - 2"	1' - 10"		EGRESS WINDOW
New Construction	A31-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	A31A-1	F	FIXED	LEVEL ATTIC	1' - 6"	4' - 2"	1' - 10"		TEMPERED GLASS
New Construction	A32-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	A32-3	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B31-1	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B31-2	C	CASEMENT	LEVEL ATTIC	3' - 0"	4' - 2"	1' - 10"		EGRESS WINDOW
New Construction	B31B-1	F	FIXED	LEVEL ATTIC	1' - 6"	4' - 2"	1' - 10"		TEMPERED GLASS
New Construction	B32-1	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
New Construction	B32-2	F	FIXED	LEVEL ATTIC	5' - 0"	4' - 2"	1' - 10"		
LEVEL ATTIC: 10									

OWNER

103 THORNDIKE LLC
103 THORNDIKE ST
ARLINGTON, MA

ARCHITECT

YROOM, LLC
34 COMMERCE WAY, SUITE B-255
WOBURN, MA

STRUCTURAL ENGINEER

AGILE ENGINEERING, LLC
188 SOUTH ST.
QUINCY, MA



103 THORNDIKE
TOWNHOUSES

PERMIT SET

PROJECT NUMBER 20-103-00

NO.	DESCRIPTION	DATE
KEY PLAN		

DRAWN BY	Author
CHECKED BY	Checker
SHEET ISSUE DATE	09/17/24
SCALE	

SHEET NAME
SCHEDULES



Unofficial Property Record Card - Arlington, MA

General Property Data

Parcel ID **002.0-0001-0020.0**
 Prior Parcel ID **1358 --**
 Property Owner **APSE INVESTMENT LLC**

Account Number **1358**

Mailing Address **C/O KUI XUE**
14 EMERALD ST
 City **NEWTON**

Property Location **103 THORNDIKE ST**
 Property Use **One Family**
 Most Recent Sale Date **11/17/2023**
 Legal Reference **1608-181**

Mailing State **MA** Zip **02458**
 ParcelZoning **R2**

Grantor **BARTOLOME REMEDIOS & JAMIE R,**
 Sale Price **655,000**
 Land Area **0.100 acres**

Current Property Assessment

Card 1 Value Building Value **186,100** Xtra Features Value **0** Land Value **573,300** Total Value **759,400**

Building Description

Building Style **Old Style**
 # of Living Units **1**
 Year Built **1926**
 Building Grade **Average**
 Building Condition **Poor**
 Finished Area (SF) **1263**
 Number Rooms **6**
 # of 3/4 Baths **0**

Foundation Type **Conc. Block**
 Frame Type **Wood**
 Roof Structure **Gable**
 Roof Cover **Asphalt Shgl**
 Siding **Aluminum**
 Interior Walls **Plaster**
 # of Bedrooms **3**
 # of 1/2 Baths **0**

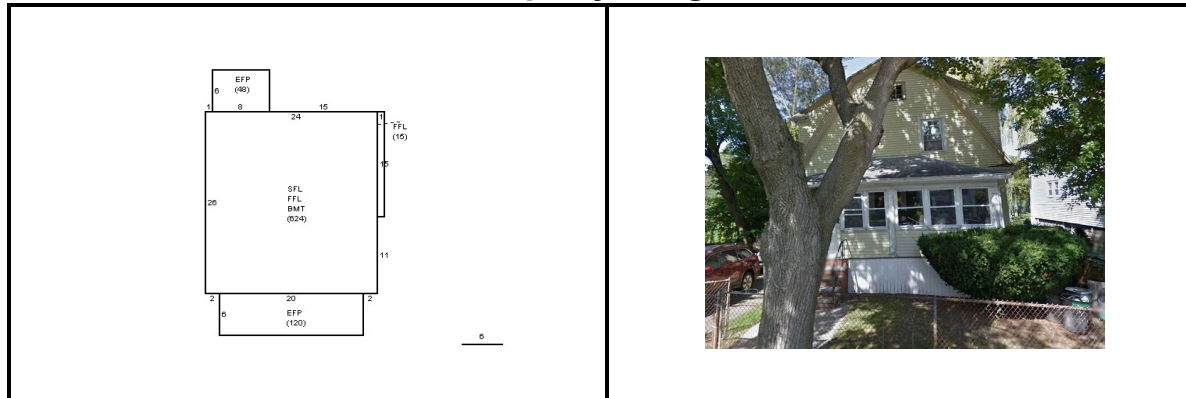
Flooring Type **Hardwood**
 Basement Floor **Concrete**
 Heating Type **Forced H/W**
 Heating Fuel **Oil**
 Air Conditioning **0%**
 # of Bsmt Garages **0**
 # of Full Baths **1**
 # of Other Fixtures **0**

Legal Description

Narrative Description of Property

This property contains 0.100 acres of land mainly classified as One Family with a(n) Old Style style building, built about 1926 , having Aluminum exterior and Asphalt Shgl roof cover, with 1 unit(s), 6 room(s), 3 bedroom(s), 1 bath(s), 0 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

September 14, 2022

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). The Applicant is the owner of the property known as 103 Thorndike Street, Arlington, Massachusetts (the “Property”).

The Applicants hereby request a variance and special permits for proposed reconstruction of an existing dwelling. The entirety of the project are shown on the site plan entitled “Site Layout Plan” prepared by Hardy + Man Design Group, PC and the architectural plan set entitled “103 Thorndike Townhouses” prepared by y/room (the “Plans”).

The Applicant seeks to demolition the existing single-family dwelling and construct a two-family dwelling (the “Proposed Project”). The Property is located in the “Residence 2” (R2) Zoning District pursuant to the Arlington Zoning Bylaw (the “Bylaw”). Under Section 5.4.3. (Table of Uses), two-family dwellings are permitted in the R2 Zoning District by right.

1. Variance – Excessive Lot Coverage

As shown in the zoning table below, the Proposed Project meets the majority of the dimensional requirements for a two-family dwelling in the R2 Zoning District.

DIMENSIONAL REQUIREMENTS			
ZONING R-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SF	4,377* SF	4,377* SF
MIN LOT AREA PER D.U.	---	N/A	N/A
MIN. LOT FRONTAGE	60 FT	45* FT	45* FT
MIN. YARD – FRONT	20 FT	13.9 FT	20.0 FT
MIN. YARD – SIDE	10 FT	6.9 FT	10.0 FT
MIN. YARD – REAR	20 FT	47.8 FT	20.0 FT
MAX. BUILDING HEIGHT	35FT/2.5ST	2.5 ST	2.5 ST
MAX. FLOOR AREA RATIO	---	N/A	N/A
MIN. LANDSCAPE OPEN SPACE	10%	76.4%	43.6%
MIN. USABLE OPEN SPACE	30%	76.4%	43.6%
MAX. LOT COV. (BUILDING & DRIVE)	35%	23.6%	56.4%

* EXISTING NONCONFORMING

The proposed dwelling eliminates certain existing non-conformities. The Proposed Project meets all setback and height requirements.

Additionally, the Proposed Project provides two parking spaces to be located in the rear of the Property in compliance with Section 6.1.4. and Section 6.1.10A of the Bylaw.

However, the Proposed Project exceeds the maximum lot coverage requirement. The Proposed Project will have a lot coverage of 56.4% when the maximum lot coverage in the zoning district is 35%. Accordingly, the Petitioner required a variance pursuant to Section 3.2.2.D. and G.L. c. 40A, § 10.

Under G.L. c. 40A, § 10 a variance can be granted if the Board makes a finding that:

that owing to circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located, a literal enforcement of the provisions of the ordinance or by-law would involve substantial hardship, financial or otherwise, to the petitioner or appellant, and that desirable relief may be granted without substantial

detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such ordinance or by-law.

As set forth below, the Petitioner meets the criteria for a variance.

A. A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise to the petitioner or appellant

With a literal enforcement of the Bylaw, the Petitioner would not be able to replace the existing structure with a dwelling that fits into the existing neighborhood. The existing structure is in poor condition and needs to be redeveloped. See Existing Photographs attached hereto.

The removal of the existing dwelling will eliminate front and side yard setback nonconformities. The Proposed Project will be more conforming for zoning purposes but for the lot coverage requirement.

With a literal enforcement of the Bylaw the Petitioner would be left with the nonconforming dwelling which size and condition are not harmonized with the surrounding neighborhood. The Proposed Project will improve the Property and provide a benefit to the neighborhood.

B. The hardship is owing to circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structure but not affecting generally the zoning district in which it is located.

A hardship exists due to the unique shape and location of the Property. The Property abuts municipal recreational land to its rear and westerly side. There is ample open space and recreational space in the immediate area. Due to the long narrow shape of the lot, it would be difficult to design a dwelling that meets all the dimensional requirements. The Proposed Project only does not meet the lot coverage requirement. The size of the Proposed Dwelling is consistent with other dwellings in the immediate neighborhood.

C. Desirable relief may be granted without either: (1) Substantial detriment to the public good; or (2) Nullifying or substantially derogating from the intent or purpose of this Ordinance.

Permitting the removal of a pre-existing nonconforming structure and allowing the Proposed Project will not be substantial detriment to the public good or derogate from the intent or purpose of the Bylaw. The Petitioner proposes a well-designed site plan that will replace an outdated nonconforming structure. The Proposed Project is an improvement to the neighborhood and fits comfortably with the surrounding area. The nonconforming lot coverage will have a de minimis impact on the surrounding area.

2. Special Permit – Reconstruction of a Non-Conforming Structure

The Petitioner also requires special permits for the Proposed Project. Pursuant to Section 5.4.2. and the table of dimensional requirements, the minimum lot area is 6,000 square feet. The Property contains 4,377.6 square feet. Additionally, the Bylaw requires a minimum frontage requirement of sixty (60) feet, whereas the lot provides forty-five (45) feet of frontage. Accordingly, the existing dwelling is a legal pre-existing non-conforming structure. Since the existing dwelling is a pre-existing non-conforming structure, the Applicant requires a special permit under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 for the construction of the Proposed Dwelling.

Furthermore, the Bylaw provides that alterations and additions which increase the gross floor area of a building by more than 750 square feet shall require a special permit from the Board under Section 3.3, that the alteration or addition is in harmony with other structures and uses in the vicinity.¹

¹ The Applicant notes that because the existing dwelling is a legal pre-existing non-conforming structure, only a finding under Section 8.1.1.A. of the Bylaw and G.L. ch. 40A, § 6 is required for any reconstruction. Nevertheless, the Applicant seeks a special permit under Section 3.3. per the direction of the Zoning Administrator.

As noted, the Proposed Project eliminates existing setback nonconformities. The Proposed Project meets the characteristics of the neighborhood. The Property is surrounded by open and recreational space. The two-dwelling design will not have a detriment to the neighborhood.

Very truly yours,

A handwritten signature in black ink, appearing to be 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

BLATMAN, BOBROWSKI, HAVERTY & SILVERSTEIN, LLC
— ATTORNEYS AT LAW —

9 DAMONMILL SQUARE, SUITE 4A4
CONCORD, MA 01742
PHONE 978.371.2226
FAX 978.371.2296

CHRISTOPHER J. ALPHEN, ESQ.
Chris@bbhslaw.net

April 7, 2025

Via ViewPoint Cloud
Town of Arlington
Board of Zoning Appeals
51 Grove St
Arlington, MA 02476

RE: Special Permit/Variance Applications
APSE Investment LLC – 103 Thorndike Street, Arlington, Massachusetts

Dear Board:

Please be informed that this office represents APSE Investment LLC, a Massachusetts Limited Liability Company with an address of 15 Emerald Street, Newton, Massachusetts (the “Applicant”). Please accept this letter as a supplement to the Applicant’s Special Permit / Variance Application.

In addition to the zoning relief detailed in the memorandum in support submitted March 2025, the Applicant requires a variance for the number of stories located in the proposed dwelling. Two and half (2.5) stories is maximum number of stories permitted in the R2 Zoning District.

The Bylaw states in part that “[a] **basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade.**” The first level elevation is more than 6 inches above average grade. It is higher in order to conform with FEMA requirement. The first-

floor elevation needs to be at least one (1) foot higher than FEMA flood plain. Accordingly, the Applicant requires a variance to permit 3.5 stories.

Very truly yours,

A handwritten signature in black ink, appearing to read 'C. Alphen', with a long horizontal flourish extending to the right.

Christopher J. Alphen, Esq.

CONSTRUCTION NOTES

- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION.
- CONTRACTOR TO MEET ALL TOWN OF ARLINGTON REQUIREMENTS FOR AS-BUILT CERTIFICATION.
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE 72 HOURS PRIOR TO EXCAVATION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION NEAR EXISTING UTILITIES.
- CONTRACTOR SHOULD IMPLEMENT EROSION AND SEDIMENTATION CONTROL IF NECESSARY TO PREVENT STORMWATER POLLUTION ONTO THE CITY DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY PERMITS TO PERFORM THE WORK.

FLOOD VENT CALCULATION

TOTAL BUILDING ENCLOSED AREA = 708 SQ. FEET
TOTAL FLOOD VENT PROVIDED
= 16" x 8" x 6 vents = 768 SQ. INCHES

CUT & FILL

CUT VOL. = 65.86 Cu. Yd.
FILL VOL. = 0.05 Cu. Yd.
NET VOL. (CUT) = 65.81 Cu. Yd.

N/F
TOWN OF ARLINGTON
BK. 10679/PG.161

REMOVE EXIST. FENCE

ELEVATED WOOD DECK
AND STAIR ACCESS

CLOSE EXISTING CURB CUT

CONC. SIDEWALK

UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

PROP. 6" PVC SEWER SERVICE
INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
"2
HOUR
PARKING
THIS
SIDE"

SCALE: 1"=10'

18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL
AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

PROP. 6" PVC SEWER SERVICE
INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
"2
HOUR
PARKING
THIS
SIDE"

SCALE: 1"=10'

18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL
AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
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REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

UPL 91/13

CONC. SIDEWALK

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AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

PROP. 6" PVC SEWER SERVICE
INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
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HOUR
PARKING
THIS
SIDE"

SCALE: 1"=10'

18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL
AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

PROP. 6" PVC SEWER SERVICE
INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
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HOUR
PARKING
THIS
SIDE"

SCALE: 1"=10'

18 INCH SOIL AMENDMENT EXCAVATE EXISTING SOIL
AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

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UPL 91/13

CONC. SIDEWALK

WG

SIGN
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PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

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INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
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HOUR
PARKING
THIS
SIDE"

SCALE: 1"=10'

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AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
BK. 22350/PG.138

EXISTING DWELLING
TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY TRENCH

THORNDIKE STREET

WG

PROP. 6" PVC SEWER SERVICE
INV. = 0.18

CUT AND CAP EXIST. SEWER

SIGN
"2
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PARKING
THIS
SIDE"

SCALE: 1"=10'

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AND REPLACE WITH ENGINEERED BIO-RETENTION
SOIL MIX CONSISTING OF 30% SAND, 30% COMPOST, AND 40% LOAM

BIORETENTION AREA DETAIL
N.T.S.

BUILDING ROOF DRAIN

STONE SWALE

BUILDING SLAB

4" OF HARD WOOD MULCH

SHORT CURB

RELOCATE FENCE

TOP OF CURB
EL=1.2

WELL

STONE SWALE TRENCH
FROM ROOF DRAIN

REPLACE EXISTING CHAIN LINK FENCE
WITH 5' CEDAR PICKET FENCE

REPLACE & RELOCATE EX. TIMBER WALL
WITH NEW CONC. BLOCK WALL
TO MEET EXIST. GRADE

BUILDING OVERHANG EL 8.0'
SUPPORTED BY COLUMNS
W/ CONCRETE SLAB BELOW AT EL 1

FLOOD VENT (16" x 8"
for 6)

N/F
NICHOLAS AGGOURAS
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TO BE DEMOLISHED

REPLACE & RELOCATED EXISTING CHAIN LINK FENCE
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REMOVE EXIST.
CHAINLINK FENCE

PERMEABLE PAVER DRIVEWAY

PLANTING BED

SEASON PORCH

LANDSCAPE AREA

CONC. SIDEWALK

WG

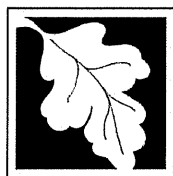
UPL 91/13

CONC. SIDEWALK

WG

SIGN
"TWO
HOUR
PARKING"

UTILITY T



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

091-0364

MassDEP File #

1514721

eDEP Transaction #

Arlington

City/Town

A. General Information

Please note:
 this form has
 been modified
 with added
 space to
 accommodate
 the Registry
 of Deeds
 Requirements

Important:
 When filling
 out forms on
 the
 computer,
 use only the
 tab key to
 move your
 cursor - do
 not use the
 return key.



1. From: Arlington
Conservation Commission

2. This issuance is for
 (check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions

3. To: Applicant:

Kui

a. First Name

Xue

b. Last Name

APSE Investment LLC

c. Organization

14 Emerald Street

d. Mailing Address

Newton

e. City/Town

MA

f. State

02548

g. Zip Code

4. Property Owner (if different from applicant):

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

5. Project Location:

103 Thorndike Street

a. Street Address

Arlington

b. City/Town

2-1

c. Assessors Map/Plat Number

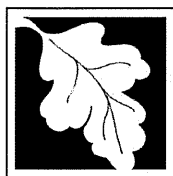
20

d. Parcel/Lot Number

Latitude and Longitude, if known:

d m s
 d. Latitude

d m s
 e. Longitude



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
 Middlesex South
 a. County _____ b. Certificate Number (if registered land) _____
 c. Book _____ d. Page _____
7. Dates: 06/24/2024 08/15/2024 08/16/2024
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
 103 Thorndike Street Notice of Intent Package
 a. Plan Title
 Hardy + Man Design Group Chi Man
 b. Prepared By c. Signed and Stamped by
 06/24/2024
 d. Final Revision Date e. Scale
 Site Layout Plan 08/07/2024
 f. Additional Plan or Document Title g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:
- Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:
- a. ☐ Public Water Supply b. ☐ Land Containing Shellfish c. ☐ Prevention of Pollution
 d. ☐ Private Water Supply e. ☐ Fisheries f. ☒ Protection of Wildlife Habitat
 g. ☐ Groundwater Supply h. ☐ Storm Damage Prevention i. ☒ Flood Control
2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
	<u> </u> e. c/y dredged	<u> </u> f. c/y dredged		
7. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	<u>4377.6</u> a. square feet	<u>4377.6</u> b. square feet	<u>4377.6</u> c. square feet	<u>4377.6</u> d. square feet
Cubic Feet Flood Storage	<u> </u> e. cubic feet	<u> </u> f. cubic feet	<u>1,325.5</u> g. cubic feet	<u>1,325.5</u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet		
Cubic Feet Flood Storage	<u> </u> c. cubic feet	<u> </u> d. cubic feet	<u> </u> e. cubic feet	<u> </u> f. cubic feet
9. <input type="checkbox"/> Riverfront Area	<u> </u> a. total sq. feet	<u> </u> b. total sq. feet		
Sq ft within 100 ft	<u> </u> c. square feet	<u> </u> d. square feet	<u> </u> e. square feet	<u> </u> f. square feet
Sq ft between 100-200 ft	<u> </u> g. square feet	<u> </u> h. square feet	<u> </u> i. square feet	<u> </u> j. square feet



Massachusetts Department of Environmental Protection
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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
14. <input type="checkbox"/> Coastal Dunes	a. square feet	b. square feet	c. ^{cu yd} nourishment	d. ^{cu yd} nourishment
15. <input type="checkbox"/> Coastal Banks	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	a. square feet	b. square feet		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet



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B. Findings (cont.)

* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. ☐ Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

24. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on 08/16/2027 unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 091-0364 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
 - (1) ☐ is subject to the Massachusetts Stormwater Standards
 - (2) ☒ is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

SEE ATTACHED

- 20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Arlington hereby finds (check one that applies):
Conservation Commission

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☒ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

Arlington Bylaw for Wetlands Protection

Title V,
Article 8

1. Municipal Ordinance or Bylaw

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

SEE ATTACHED



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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

1. Date of Issuance

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signature *[Handwritten Signature]*

Printed Name Susan Chapnick

Signature *[Handwritten Signature]*

Printed Name David White

Signature *[Handwritten Signature]*

Printed Name M. GILDESGAMB

Signature *[Handwritten Signature]*

Printed Name David Kaplan

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

Signature

Printed Name

☐ by hand delivery on

☐ by certified mail, return receipt requested, on

Date

Date



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F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



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G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

Project Location

MassDEP File Number

Has been recorded at the Registry of Deeds of:

County

Book

Page

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

DEP File Number: _____

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. Request Information

1. Location of Project

a. Street Address _____

b. City/Town, Zip _____

c. Check number _____

d. Fee amount _____

2. Person or party making request (if appropriate, name the citizen group's representative):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

3. Applicant (as shown on Determination of Applicability (Form 2), Order of Resource Area Delineation (Form 4B), Order of Conditions (Form 5), Restoration Order of Conditions (Form 5A), or Notice of Non-Significance (Form 6)):

Name _____

Mailing Address _____

City/Town _____

State _____

Zip Code _____

Phone Number _____

Fax Number (if applicable) _____

4. DEP File Number: _____

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



B. Instructions

1. When the Departmental action request is for (check one):

☐ Superseding Order of Conditions – Fee: \$120.00 (single family house projects) or \$245 (all other projects)

☐ Superseding Determination of Applicability – Fee: \$120

☐ Superseding Order of Resource Area Delineation – Fee: \$120



Massachusetts Department of Environmental Protection
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DEP File Number:

**Request for Departmental Action Fee
Transmittal Form**

Provided by DEP

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Instructions (cont.)

Send this form and check or money order, payable to the *Commonwealth of Massachusetts*, to:

Department of Environmental Protection
Box 4062
Boston, MA 02211

2. On a separate sheet attached to this form, state clearly and concisely the objections to the Determination or Order which is being appealed. To the extent that the Determination or Order is based on a municipal bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.
3. Send a **copy** of this form and a **copy** of the check or money order with the Request for a Superseding Determination or Order by certified mail or hand delivery to the appropriate DEP Regional Office (see <https://www.mass.gov/service-details/massdep-regional-offices-by-community>).
4. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

ARLINGTON CONSERVATION COMMISSION
APPROVAL ORDER OF CONDITIONS – 103 Thorndike Street
MassDEP File # 091-0364
UNDER THE WETLANDS PROTECTION ACT and ARLINGTON BYLAW FOR WETLANDS PROTECTION
Multifamily Residential Redevelopment
08/16/2024

Documents Reviewed

1. 103 Thorndike Street NOI Application
 - a. WPA Form 3 – eDEP Notice of Intent Filing #1514721
 - b. WPA Notice of Wetland Fee Transmittal Form – eDEP Notice of Intent Filing #1514721
 - c. Local Filing Fee Form
 - d. Legal Notice Charge Authorization
 - e. Affidavit of Service
 - f. Letter to Abutters
 - g. Abutter Notification Form
 - h. Certified List of Abutters
 - i. USGS Topographic Quadrangle
 - j. FEMA Flood Insurance Rate Map
 - k. MassGIS Orthophoto & NHESP Estimated Habitat Map
 - l. Site Photographs
 - m. Drainage Report, prepared by Hardy + Man, dated 06/15/2024, revised 07/26/2024
 - n. Stormwater Operation and Maintenance Plan, dated 06/20/2024
 - o. Schematic designs showing bioretention area and snow removal area and surface water flow lines, undated and unstamped, two pages
 - p. *Site Layout Plan*, dated 06/10/2024, stamped by Chi Man, Professional Engineer #45441

Proceedings

The Conservation Commission held a public hearing for the Notice of Intent on August 1, 2024, and continued the hearing to August 15, 2024. The Commission closed the hearing and deliberated on August 15 and voted 6-0-1 to approve the Project with conditions under the Wetlands Protection Act (the “Act”) and voted 6-0-1 to approve the Project with conditions under the Arlington Wetlands Protection Bylaw (the “Bylaw”).

**Findings of Fact and Law under Arlington Wetlands Protection Bylaw
and Wetlands Protection Act**

- A. The project as approved will demolish the existing structure and build a multifamily residence at 103 Thorndike Street in Arlington, Massachusetts.

- B. 103 Thorndike Street is a 4,377± square foot property containing a two-story, single-family dwelling with a bituminous concrete driveway extending halfway along the southwestern side of the structure from Thorndike Street. Residential development associated with the East Arlington neighborhood occurs on all sides except westerly, which is bordered by Town-owned park land associated with Magnolia Field and Playground.
- C. Resource Areas on site or within 100' of the property lines include Bordering Land Subject to Flooding (Zone AE).
- i. The entirety of the property lies within the floodplain, Zone AE.
 - ii. The Applicant will not fill anywhere on site but rather cut and add 1,325.5 cubic feet of flood storage. Additional storage will be provided within the footprint of the building using flood vents. The amount of storage calculated here does not include the volume within the footprint of the building.
 - iii. Existing front and rear porches, two walkways, and the driveway will be removed, a total of 834 sq. ft. reduction in impervious surface. A permeable paver driveway of 850 sq. ft. will be installed. With the addition of the new structure (1,410 sq. ft. footprint), a reduction of 89 sq. ft. of impervious surface will be accomplished.
 - iv. Stormwater runoff will be directed to a bioretention area at the rear of the lot (capacity 148 cu. ft.), which will be connected to the roof drainage via a stone swale. The bioretention area will be planted with native shrubs and groundcovers and demarcated as a permanent restoration zone.
- D. Reduction of impervious surface through the use of permeable pavers, increased flood storage, and the use of a bioretention basin comply with the climate resilience standards of the Arlington Bylaw for Wetlands Protection and its regulations.

Conclusion

Based on the testimony at the public hearings, and review of the application materials and the documents listed above submitted during the public hearings, the Commission concludes that the proposed Project as conditioned will not have significant or cumulative effects upon the interests of the Resource Area values of the Massachusetts Wetlands Protection Act and the Arlington Bylaw for Wetlands Protection when the conditions imposed herein are implemented to protect the Resource Area values. With these conditions contained, the Project meets the performance standards in the Act and Bylaw and implementing regulations.

For the foregoing reasons, the Commission approves this project under the Act and Bylaw with the conditions stated herein the applications for work at 103 Thorndike Street.

Additional Special Conditions

In addition to the General Conditions (numbered 1 – 20 above), the Project is subject to the following Additional Special Conditions (under both the Act and Bylaw):

21. Prior to the start of work, the planting plan for the bioretention area shall be modified to replace the 8 switchgrass plugs with the same number of bunchberry (*Chamaepericlymenum canadense*) plants. The applicant shall include methods to protect proposed infiltration beds and bioretention areas from soil compaction, sedimentation, and clogging during construction. Bioretention areas shall be stabilized with vegetation prior to discharge of stormwater into them. The applicant shall provide temporary stormwater management structures as needed to prevent sedimentation of wetlands and clogging of drainage structures. The Commission or Administrator shall be notified prior to the placement of soil media within bioretention areas, and inspections shall be scheduled as these systems are installed.
22. Tree protections shall include orange safety fencing erected at the drip line of all trees with canopy overhanging the subject site. In the event that such fencing prohibits construction access, the tree protection shall instead include construction-grade metal plates laid over the root protection area, equivalent to the height of the tree measured from the center of the stem.
23. The Applicant shall discuss and gain approval for all necessary tree and root protection and/or trimming measures with the Town Tree Warden for trees on Town-owned park land or in the right of way.
24. Roots severed by construction activities shall be cut clean. If roots are severed on more than one side of the tree, the Applicant shall notify the Conservation Agent within 7 days of the incident and contract a Certified Arborist to assess the health of the tree. The Arborist's report shall be submitted to the Conservation Agent within 30 days of the incident. The Conservation Agent shall have the authority to require the Arborist's recommended actions as part of this Order/Permit.
25. At least one permanent boundary marker shall be installed to designate the bioretention area as a restoration area. One marker shall be made of stone or metal at least 4x4" and extend at least 6" above the ground and placed at the edge of the bioretention area facing the house. Any additional markers may be flush to the ground. The marker(s) shall have lettering at least 1" tall that labels the area as a Restoration Zone. The Applicant shall submit to the Conservation Agent for approval a plan showing the detail and location of the proposed signage.
26. All boundary markers shall be maintained in their designated locations and clearly labeled.
This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.

Pre-Construction

27. Prior to the start of work, the Applicant shall update, reconcile, and correct the impervious surface calculations on the Conservation Plan (Document #1.I).
28. Work permitted by this Order and Permit shall conform to the Notice of Intent, the approved plans and documents (listed above), and oral representations (as recorded in hearing minutes) submitted or made by the Applicant and the Applicant's agents or representatives, as well as

APPROVAL ORDER OF CONDITIONS – 103 Thorndike Street
MassDEP File # 091-0364

any plans and other data, information or representations submitted per these Conditions and approved by the Commission.

29. The provisions of this Order and Permit shall apply to and be binding upon the Applicant and Applicant's assigns, tenants, lessees, property manager, employees, contractors, and agents.
30. The Applicant shall ensure that a copy of this Order and Permit, with any referenced plans, is always available on site, and that contractors, site managers, foremen, and sub-contractors understand its provisions.
31. The lead contractor shall sign and return to the Conservation Agent an acknowledgment that contractors, site managers, foremen, and sub-contractors cannot deviate from the approved plans without Commission approval.
32. If there are conflicting conditions within this Order and Permit, the stricter condition(s) shall govern.
33. No work shall begin under this Order and Permit until: (a) all other required permits or approvals have been obtained and (b) the appeal period of ten (10) business days from the date of issue of this Order has expired without any appeal being filed, and (c) proof that this Order has been recorded in the Registry of Deeds has been submitted to the Conservation Agent.
34. Prior to any work on the site, or within six (6) weeks of the date of this Order, whichever comes first, this Order of Conditions and relevant attachments, including any and all operations and maintenance plans, shall be recorded at the Middlesex Registry of Deeds or Land Court, and notice filed with the Commission. Failure to do so shall be deemed cause to revoke this Order.
35. Prior to starting work, the Applicant shall submit to the Commission the names and 24-hour phone numbers of project managers or the persons responsible for site work or mitigation.
36. Before work begins, erosion and sediment controls shall be installed at the limits of the work area. Unless otherwise specified, erosion controls will include a silt fence and a biodegradable 12-inch diameter straw or silt wattle around the entire work area. Hay bales are not allowed, and biodegradable wattles are preferred.
37. Prior to any work commencing, a sign no less than 2 square feet or more than 3 square feet, visible from the street, shall be displayed reading "**MA DEP File # 091-0361**" and not placed on a living tree.
38. The contractor shall contact the Conservation Agent (concomm@town.arlington.ma.us ; 781-316-3012) at least 72 hours prior to commencement of work to arrange for a pre-construction meeting with the on-site project manager to walk through the Order of Conditions and Permit for Work, confirm the wash out location, and walk the site to confirm the installation and placement of erosion controls prior to the start of any grading or construction work.

39. The Commission, its employees, and its agents shall have the right of entry onto the site to inspect for compliance with the terms of this Order of Conditions and Permit until a Certificate of Compliance has been issued.
40. Any backfill or reuse of on-site materials shall be free of contamination in accordance with the Massachusetts Contingency Plan, 310 CMR 40.0000. All fill used in connection with this project shall be clean borrow. The following shall be prohibited: concrete and asphalt rubble; crushed glass; stumps, invasive plants or debris, and other solid waste or anthropogenic materials.

Dumpsters

41. All dumpsters must be covered at the end of each workday. No dumpsters will be allowed overnight within the 100-foot Buffer Zone or Adjacent Upland Resource Areas (“AURA”) or other Resource Areas unless otherwise approved by the Commission.

Stockpiling

42. Any stockpile of soil, sand, or similar materials that is permitted within said areas shall be enclosed within a line of entrenched and staked erosion control socks or silt fence in addition to the perimeter erosion controls for the site. In the event that all earthwork ceases for more than 15 days or if inclement weather is imminent, all exposed stockpiled soils shall be stabilized with a temporary vegetative cover, tarp, or other erosion control acceptable to the Conservation Commission.

Erosion

43. Areas that are disturbed by construction and access activities shall as soon as possible be brought to final grade and reseeded and restabilized and shall be done so prior to the removal of the erosion control barrier. Erosion control measures shall be installed per the approved plans or as directed by the Conservation Agent.
44. The Commission and its Agent shall have the discretion to require additional erosion/siltation control methods during construction if necessary.
45. Upon completion of the project, the applicant shall remove and legally dispose off-site of all temporary erosion controls and other materials determined to be detrimental to the resource areas if left in place permanently.

Equipment

46. No heavy equipment may be stored overnight within 50 feet of the wetland and no refueling or maintenance of machinery shall be allowed within the 100-foot Buffer Zone, 200-foot Resource Area, and Adjacent Upland Resource Area or within any Resource Area unless otherwise approved by the Commission.
47. Construction entrances shall be used and maintained only where noted on approved plans.
48. Arrangements shall be made for any rinsing of tools, equipment associated with on-site mixing or use of concrete, rubber, or other materials such that the wastewater is disposed of in the

concrete wash out station-at least 50 feet from the resource area. In no case may waste water be discharged into or onto Resource Areas on or adjacent to the site. In no case may waste water be placed in storm drains. Any spillage of materials shall be cleaned up promptly.

Sweeping

49. Any dirt or debris spilled or tracked onto any paved streets shall be swept up and removed daily.
50. The areas of construction shall remain in a stable condition at the close of each construction day.

Dewatering

51. Any dewatering operations shall conform to the following:
 - (a) If dewatering is needed, the Applicant must submit for approval a dewatering plan to the Conservation Agent or Conservation Commission.
 - (b) Any catch basins, drains, and outfalls to be used in dewatering operations shall be cleaned out before operations begin.
 - (c) Any water discharged as part of any dewatering operation shall be passed through filters, on-site settling basins, settling tank trucks, or other devices to ensure that no observable sediments or pollutants are carried into any Resource Area, street, drain, or adjacent property.
 - (d) Measures shall be taken to ensure that no erosion or scouring shall occur because of dewatering operations.
 - (e) Dewatering shall occur only where noted on approved plans.

Plantings and Vegetation

52. All plantings shall be as specified in the planting plan and installed and maintained according to the standards of the American Association of Nurserymen (AAN). **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
53. The Applicant shall protect all area trees per the Town Wetlands Protection Regulations, Section 24 Vegetation Removal and Replacement. The Commission may at its discretion supersede the requirements of Section 24.
54. All native restoration plantings shall be monitored for three full growing seasons. A survival rate of at least 100% of trees and 80% of other vegetation in the planting plan must be maintained and demonstrated unless otherwise approved by the Commission.
55. A monitoring report shall be submitted annually in November for the three-year monitoring period and shall include the number and types of restoration plantings evaluated, condition of the plantings, and status of invasive plant removal. The Applicant must provide a monitoring report by a qualified consultant for survival of all approved plantings. The monitoring report must include measures to remove invasive species if they are discovered.

56. Any planting areas provided as mitigation shall be maintained in perpetuity. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**
57. There shall be no dumping of woody vegetation, leaves, grass clippings, brush, or other debris into a wetland resource area or associated buffer zones. **This shall be a continuing condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.**

Fertilizer and Chemical Use

58. To avoid adding excess nutrient runoff, the Applicant shall only treat existing lawn area with no phosphorous, low nitrogen, slow-release fertilizer and it shall be applied at the lowest rate necessary. Any application of phosphorus-containing fertilizers for new lawn must be first reviewed and approved by the Conservation Agent. Except for the establishment of vegetation in the first growing season, the Application of lawn fertilizer cannot occur in the summer, or before or after storm events. Lawn fertilizer shall at most be applied twice a year. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**
59. No pesticides or rodenticides shall be used to treat pest management issues. **This shall be a continuing condition that survives the expiration of the permit and shall be included in any Certificate of Compliance as a continuing condition.**

Stormwater

60. The Applicant shall conduct catch basin sump cleanings as necessary to proximate catch basins at the end of the project work period.
61. The project shall not cause an increase in run-off or stormwater volume onto adjacent properties, either during construction or when completed.
62. Bioretention areas shall be inspected, and trash shall be removed monthly. Structural damage shall be repaired. These areas shall be pruned as needed in spring or fall. Dead vegetation and invasive species shall be removed and replaced with new vegetation every spring and fall. Sediments shall be removed every spring. At least twice a year, the system shall be monitored during and after a heavy rainstorm to determine whether it is meeting the intended detention, water quality, and infiltration functions.

Snow and Deicing

63. Dumping of snow into resource areas is prohibited and shall comply with the current Mass. DEP Bureau of Water Resources Snow Removal Guidance.
64. Deicing chemicals containing sodium, potassium, and calcium chloride are prohibited from use in the wetland resource area and the associated 100-foot buffer. An alternative deicing product such as magnesium chloride (MgCl) may be used as recommended in the Winter Parking Lot and Sidewalk Maintenance Manual published by the Minnesota Pollution Control Agency, <https://www.pca.state.mn.us/sites/default/files/p-tr1-10.pdf>. **This shall be a continuing**

condition that survives the expiration of this permit /Order and shall be included in any Certificate of Compliance as a continuing condition in perpetuity.

Project Completion

65. Upon completion of the project or 60 days prior to the expiration of this Order of Conditions, the Applicant or a representative thereof shall file for a Certificate of Compliance.
66. When requesting a Certificate of Compliance for this Order of Conditions, the Applicant must submit a written statement from a qualified professional licensed and/or registered to work in Massachusetts. The type of professional shall be determined by the Conservation Agent as is applicable to the project. A professional engineer, registered land surveyor, or registered landscape architect may be chosen. The statement submitted by said professional shall certify that the completed work complies with the plans referenced in this Order and the chosen professional shall provide an as-built plan and statement describing any differences.
67. In conjunction with the sale of any portion of the site covered by this Order of Conditions, the Applicant shall submit to the Commission a signed statement by the buyer that the new owner is aware of the applicable conditions of this Order and permit.



Town of Arlington, Massachusetts

Docket #3839 16 Lansdowne Rd

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/208471>

ATTACHMENTS:

Type	File Name	Description
Reference Material	3839_16_Lansdowne_St_Legal_Ad.pdf	3839 16 Lansdowne St Legal Ad
Reference Material	3839_16_Lansdowne_Rd_Application_SP-25-1.pdf	3839 16 Lansdowne Rd Application SP-25-1
Reference Material	3839_16_Lansdowne_Rd_abutter_list_and_map.pdf	3839 16 Lansdowne Rd abutter list and map
Reference Material	3839_16_Lansdowne_Rd_site-survey.pdf	3839 16 Lansdowne Rd site-survey
Reference Material	3839_16_Lansdowne_Rd_porchdesign_perspective_12-31-24.pdf	3839 16 Lansdowne Rd porchdesign_perspective_12-31-24
Reference Material	3839_16_Lansdowne_Rd_porchdesign_front_12-31-24.pdf	3839 16 Lansdowne Rd porchdesign_front_12-31-24
Reference Material	3839_16_Lansdowne_Rd_property-card.pdf	3839 16 Lansdowne Rd property-card
Reference Material	3839_16_Lansdowne_Rd_front_1.pdf	3839 16 Lansdowne Rd front_1
Reference Material	3839_16_Lansdowne_Rd_side_1.pdf	3839 16 Lansdowne Rd side_1
Reference Material	3839_16_Lansdowne_Rd_side_2.pdf	3839 16 Lansdowne Rd side_2
Reference Material	3839_16_Lansdowne_Rd_back_1.pdf	3839 16 Lansdowne Rd back_1
Reference Material	3839_16_Lansdowne_Rd_back_2.pdf	3839 16 Lansdowne Rd back_2
Reference Material	3839_16_Lansdowne_Rd_design-drawings_1.pdf	3839 16 Lansdowne Rd design-drawings_1
Reference Material	3839_16_Lansdowne_design-drawings_2.pdf	3839 16 Lansdowne design-drawings_2



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3839

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Jeremy Sylvan**, on February 3, 2025, a petition seeking to alter their property located at **16 Lansdowne St - Block Plan 089.0-0002-0001.0** Said petition would require a **Special Permit** under **5.3.9 D** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

**SP-25-1**

Special Use Permit

Application (ZBA)

Status: Active

Submitted On: 2/3/2025

Primary Location

16 LANSDOWNE RD

Arlington, MA 02474

Owner

SYLVAN JEREMY

16 LANSDOWNE RD

ARLINGTON, MA 02474

ApplicantMadeline
Hickman781-799-
1560

madeline.hickman@gmail.com

16
Lansdowne
Rd

Arlington, MA 02474

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)*** ?

Our existing side deck (which connects the end of our driveway with the side entrance into the kitchen) is past the side setback. It's currently rotting, and we'd like to replace it with an enclosed mudroom for transitional space and wrap the deck around the rear of the house.

The requested use is past the side setback and qualifies as a non-conformity, requiring a special permit per 5.3.9D

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The proposed mudroom would improve the use of the side entrance for house residents, and should not interfere with the neighbors at all.

The proposed mudroom maintains the existing setback / distance between our porch and the neighbors' house, and should provide some additional privacy between the two houses, along with the existing arbor vitae separating the properties. The mudroom space would match the design of the existing house and its roofline, and will look much nicer than the existing side porch and the enclosed shed underneath, which are rotting.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed project is off the side and back of the house, and should not have any impact on traffic or pedestrian safety. It also will not affect the number of people using the side entrance of the house.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

There aren't any water, drainage, or sewer requirements for this project, so it shouldn't affect municipal systems.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The requested use is for a mudroom that is non-conforming, but will not interfere with the neighbors and will not have any negative impact on the neighborhood.

The requested mudroom replaces the existing deck and enclosed shed space underneath; it will not encroach any further towards the side property line than the existing structures or otherwise change the current usage of our property. The proposed mudroom design will extend slightly further than the existing deck footprint towards the front of the house to allow for covered trash bin / bicycle storage, but will preserve room for our two off-street cars in the driveway.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The requested use will replace an existing structure, and will not interfere with neighboring properties; both the new design and the existing landscaping should maintain privacy and separation between the two lots.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

This project will not affect the number of people using the side entrance of the house, as it's meant to improve the experience for existing users. The design blends into the current house, and is similar to other side mudrooms in the neighborhood, and thus shouldn't affect the character of the neighborhood

Dimensional and Parking Information

Present Use/Occupancy *	Proposed Use/Occupancy *
One family	One family
Existing Number of Dwelling Units*	Proposed Number of Dwelling Units*
1	1
Existing Gross Floor Area (Sq. Ft.)*	Proposed Gross Floor Area (Sq. Ft.)*
2100	2184
Existing Lot Size (Sq. Ft.)*	Proposed Lot Size (Sq. Ft.)* ?
4927	4927
Minimum Lot Size required by Zoning*	Existing Frontage (ft.)*
6000	60

Proposed Frontage (ft.)*

60

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.426

Proposed Floor Area Ratio*

0.443

Max. Floor Area Ratio required by Zoning*

100

Existing Lot Coverage (%)*

0.17

Proposed Lot Coverage (%)*

0.188

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

4927

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

4927

Minimum Lot Area per Dwelling Unit required by Zoning*

6000

Existing Front Yard Depth (ft.)*

25.8

Proposed Front Yard Depth (ft.)*

25.8

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

4.9

Proposed Left Side Yard Depth (ft.)* ?

4.9

Minimum Left Side Yard Depth required by Zoning* ?

10

Existing Right Side Yard Depth (ft.)* ?

13

Proposed Right Side Yard Depth (ft.)* ?

13

Minimum Right Side Yard Depth required by Zoning*

10

?

Existing Rear Yard Depth (ft.)*

32.1

Proposed Rear Yard Depth (ft.)*

20.35

Minimum Rear Yard Depth required by Zoning*

16.5

Existing Height (stories)

1.75

Proposed Height (stories)*

1.75

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

16.58

Proposed Height (ft.)*

16.58

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

3414

Proposed Landscaped Open Space (Sq. Ft.)*

3110

Existing Landscaped Open Space (% of GFA)*

162

Proposed Landscaped Open Space (% of GFA)*

142

**Minimum Landscaped Open Space (% of GFA)
required by Zoning***

10

Existing Usable Open Space (Sq. Ft.)*

3110

Proposed Usable Open Space (Sq. Ft.)*

3110

Existing Usable Open Space (% of GFA)* ?

148

Proposed Usable Open Space (% of GFA)* ?

142

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

2

**Minimum Number of Parking Spaces required by
Zoning***

1

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

**Minimum Parking Area Setbacks required by
Zoning***

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

**Minimum Number of Loading Spaces required by
Zoning***

0

Existing Slope of proposed roof(s) (in. per ft.)*

10.5

Proposed Slope of proposed roof(s) (in. per ft.)*	Minimum Slope of Proposed Roof(s) required by Zoning*
10.5	0
Existing type of construction*	Proposed type of construction*
House	Mudroom / Deck

Open Space Information

Existing Total Lot Area*	Proposed Total Lot Area*
4927	4927
Existing Open Space, Usable*	Proposed Open Space, Usable*
3110	3110
Existing Open Space, Landscaped*	Proposed Open Space, Landscaped*
3414	3110

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area	Accessory Building, Proposed Gross Floor Area
—	—
Basement or Cellar, Existing Gross Floor Area ?	Basement or Cellar, Proposed Gross Floor Area
630	630
1st Floor, Existing Gross Floor Area	1st Floor, Proposed Gross Floor Area
840	924

2nd Floor, Existing Gross Floor Area
630

2nd Floor, Proposed Gross Floor Area
630

3rd Floor, Existing Gross Floor Area
—

3rd Floor, Proposed Gross Floor Area
—

4th Floor, Existing Gross Floor Area
—

4th Floor, Proposed Gross Floor Area
—

5th Floor, Existing Gross Floor Area
—

5th Floor, Proposed Gross Floor Area
—

Attic, Existing Gross Floor Area 
—

Attic, Proposed Gross Floor Area
—

Parking Garages, Existing Gross Floor Area 
—

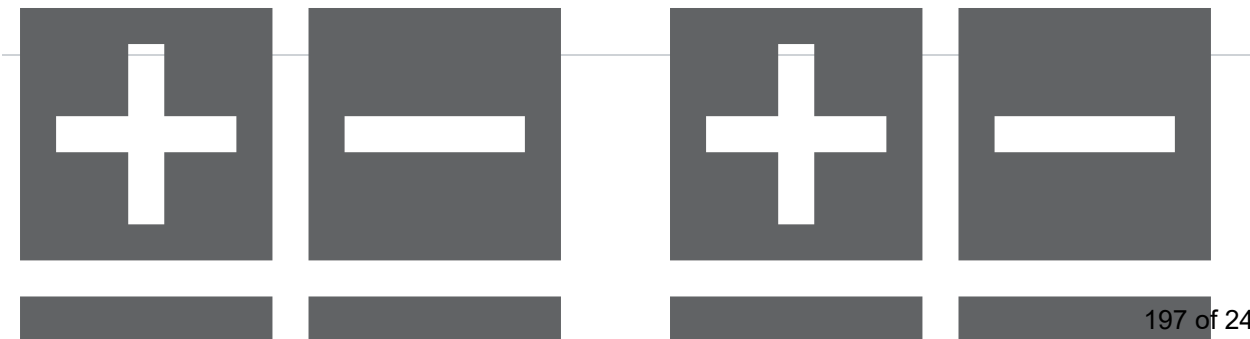
Parking Garages, Proposed Gross Floor Area
—

All weather habitable porches and balconies,
Existing Gross Floor Area
—

All weather habitable porches and balconies,
Proposed Gross Floor Area
—

Total Existing Gross Floor Area
2100

Total Proposed Gross Floor Area
2184





By entering my name below, I hereby attest that I have reviewed the following:

- Arlington Residential Design Guidelines

and under the pains and penalties of perjury that all of the information contained in this application is true and accurate to the best of my knowledge and understanding.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct, and that clicking this checkbox and typing my name in the field below will act as my signature.*



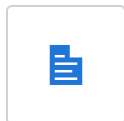
Applicant's Signature*



Madeline Hickman

Feb 3, 2025

Attachments



site-survey.pdf

site-survey.pdf

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porchdesign_front_12-31-24.png

porchdesign_front_12-31-24.png

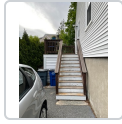
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porchdesign_perspective_12-31-24.png

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front_1.jpeg

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**side_1.jpeg**

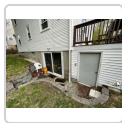
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**back_1.jpeg**

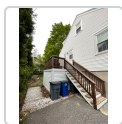
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**side_2.jpeg**

side_2.jpeg

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**Supporting Documentation [worksheet and drawings]**

Required

property-card.pdf

Uploaded by Madeline Hickman on Feb 3, 2025 at 4:21 PM



CERTIFIED ABUTTERS LIST

Date: Feburary 28, 2025

Subject Property Location: 16 LANSDOWNE RD Arlington, MA

Subject Parcel ID: 89-2-1

Search Distance: 300 Feet

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address	City/Town	State	Zip
89.A-1-54	54 HEMLOCK ST UNIT 54	LIPTAK CARY THOMAS	ALLSWEDE DANA MARIE	54 HEMLOCK ST	ARLINGTON	MA	02474
89.A-1-56	56 HEMLOCK ST UNIT 56	CARTER NATHAN C	CARTER LYDIA M	56 HEMLOCK ST	ARLINGTON	MA	02474
91-2-16.B	6 KNOWLES FARM CIR	WU SIJIA	LIU LUKAI	6 KNOWLES FARM CIR	ARLINGTON	MA	02474
91-2-16.A	4 KNOWLES FARM CIR	KUNG LI-YUN A	PARK EUNICE S	4 KNOWLES FARM CIR	ARLINGTON	MA	02474
91-2-16	91 HEMLOCK ST	RHEE JAMES &	CHENG JENNY	91 HEMLOCK ST	ARLINGTON	MA	02474
89.A-1-50	50 HEMLOCK ST UNIT 50	VOGES ROBERT		50 HEMLOCK ST	ARLINGTON	MA	02474
89.A-1-52	52 HEMLOCK ST UNIT 52	DIEHL NICHOLAS B & STACEY R		52 HEMLOCK ST	ARLINGTON	MA	02474
89.A-1-64.2	64 HEMLOCK ST UNIT 2	DUMONT KYLE JACKSON	ANDRUS GREGORY RAYMOND	14 VARNEY ST	BOSTON	MA	02130
89.A-1-64.1	64 HEMLOCK ST UNIT 1	HARKNESS GLENN E/TRUSTEE &	ANDRUS JEFFREY/TRUSTEE	247 ALDER RD	WESTWOOD	MA	02090
89-1-1	10 GOVERNOR RD	GOLDSTEIN JACQUELINE & GREGORY	GOLDSTEIN ELIZABET	10 GOVERNOR RD	ARLINGTON	MA	02474
89-1-2	6 GOVERNOR RD	DONOVAN JAMES D & CAMELIA/TRS	6 GOVERNOR ROAD REALTY TRUST	6 GOVERNOR RD	ARLINGTON	MA	02474
89-1-3	2 GOVERNOR RD	AMPE JAMES M	ALLISON-AMPE KIRSI	2 GOVERNOR RD	ARLINGTON	MA	02474
89-1-4	0-LOT HEMLOCK ST	TOWN OF ARLINGTON SELECTMEN		730 MASS AVE	ARLINGTON	MA	02476
89-1-5	70 HEMLOCK ST	CAPOBIANCO MARIA R/ TRUSTEE	MARIA R CAPOBIANCO REVOCABLE	70 HEMLOCK ST	ARLINGTON	MA	02474
89-1-7	68 HEMLOCK ST	DONGOL BINOD	ADHIKARI REEMA	68 HEMLOCK ST	ARLINGTON	MA	02474
89-1-9	58--60 HEMLOCK ST	58-60 HEMLOCK STREET LLC		441 PLEASANT ST	BELMONT	MA	02478
89-1-12	48 HEMLOCK ST	KEENAN JAMES M & LEIGH H		48 HEMLOCK ST	ARLINGTON	MA	02474
89-1-13	42--44 HEMLOCK ST	SHERMAN CRAIG W		42 HEMLOCK ST	ARLINGTON	MA	02474
89-1-22.A	33 PINE ST	PILLEMER STEPHEN J J ETAL/ TRS	PILLEMER-RASMUSSEN FAMILY 2010	33R PINE ST	ARLINGTON	MA	02474
89-1-31	83 CHARLES ST	JIGARJIAN FLORENCE		83 CHARLES ST	ARLINGTON	MA	02474
89-2-1	16 LANSDOWNE RD	SYLVAN JEREMY		16 LANSDOWNE RD	ARLINGTON	MA	02474
89-2-2	12 LANSDOWNE RD	HAO YUXIN	ZHANG ROUSHU	12 LANSDOWNE RD	ARLINGTON	MA	02474
89-2-3	8 LANSDOWNE RD	BERKSON RANDOLPH F--ETAL	BERKSON DONNA K	8 LANSDOWNE RD	ARLINGTON	MA	02474
89-2-4	69 HEMLOCK ST	WRIGHT MARK & JAMIE		69 HEMLOCK ST	ARLINGTON	MA	02474
89-3-1	11 ROCKLAND AVE	DELORIA PHILIP J	BURNS-DELORIA MARGARET E	11 ROCKLAND AVE	ARLINGTON	MA	02474
89-3-3	0-LOT ROCKLAND AVE	BAYNES WILLIAM P-MAUD		148 BRATTLE ST	ARLINGTON	MA	02474
89-3-4	5 ROCKLAND AVE	ZHANG PINGGAO	YANG JENNY ZHI	5 ROCKLAND AVE	ARLINGTON	MA	02474
89-3-5	19 LANSDOWNE RD	RISLEY DANA R		19 LANSDOWNE RD	ARLINGTON	MA	02474
89-3-6	21 LANSDOWNE RD	ATLAS MICHAEL/ TRUSTEE	LINDA & MICHAEL ATLAS FAMILY	21 LANSDOWNE RD	ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 16 LANSDOWNE RD Arlington, MA****Subject Parcel ID: 89-2-1****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address	City/Town	State	Zip
89-3-10	15 LANSDOWNE RD	SMOKOVICH RICK S/ETAL	KOLESAR MARY K	15 LANSDOWNE RD	ARLINGTON	MA	02474
89-3-11	11 LANSDOWNE RD	AVERY JOHN K/ TRUSTEE	JOHN K AVERY TRUST OF 2022	11 LANSDOWNE RD	ARLINGTON	MA	02474
89-3-12.A	7 LANSDOWNE RD	GENDRON ZACHARY & STEPHANIE		7 LANSDOWNE RD	ARLINGTON	MA	02474
89-3-14	45 HEMLOCK ST	LIU ZHONGJIE		45 HEMLOCK ST	ARLINGTON	MA	02474
89-3-15	41 HEMLOCK ST	SWEENEY RICHARD A & MARY S		41 HEMLOCK ST	ARLINGTON	MA	02474
89-3-16	37 HEMLOCK ST	CHEN DEBORA		37 HEMLOCK ST	ARLINGTON	MA	02474
89-3-31	140 BRATTLE ST	NETO AMIR SAMARY GONCALVES	SAMARY MAIRA REJANE MARQUES	140 BRATTLE ST	ARLINGTON	MA	02474
89-3-33	144 BRATTLE ST	DIPERNA CHRISTOPHER J	KADERIAN MAIDA	144 BRATTLE ST	ARLINGTON	MA	02474
89-3-34	146 BRATTLE ST	ROLLFS MARK	STRAUGHN BRITTANY	146 BRATTLE ST	ARLINGTON	MA	02474
89-3-35	148 BRATTLE ST	BAYNES WILLIAM P JR-MAUDE		148 BRATTLE ST	ARLINGTON	MA	02474
89-3-36	152 BRATTLE ST	HAGG JOHN		152 BRATTLE ST	ARLINGTON	MA	02474
89-3-38	156 BRATTLE ST	DIANGELIS JOHN A & SALLY P		156 BRATTLE ST	ARLINGTON	MA	02474
89-3-39	0-LOT BRATTLE ST	DIANGELIS JOHN A & SALLY P		156 BRATTLE ST	ARLINGTON	MA	02474
91-1-2	80 HEMLOCK ST	MARASHIAN MARDIC		80 HEMLOCK ST	ARLINGTON	MA	02474
91-1-4	0-LOT HEMLOCK ST	DONOVAN JAMES D & CAMELIA/TRS	6 GOVERNOR ROAD REALTY TRUST	6 GOVERNOR RD	ARLINGTON	MA	02474
91-1-5	11 GOVERNOR RD	OWENS CHRISTOPHER T	FENNER MELISSA A	11 GOVERNOR RD	ARLINGTON	MA	02474
91-2-8	46 LANSDOWNE RD	O'CONNOR BRIAN PAUL	AKITAYA HUGO ALVES	46 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-9	42 LANSDOWNE RD	LARKIN ELEANOR M &	SLINEY JOANNE	42 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-10	34 LANSDOWNE RD	BARREIRA STEVEN J & THY L		34 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-11	30 LANSDOWNE RD	DE FILIPPO PAUL J	DE FILIPPO MICHELE LEE	30 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-12.A	15 JANET RD	CHUGH SHOBHIT &	KIVOLOWITZ KERRI G	15 JANET RD	ARLINGTON	MA	02474
91-2-12.B	11 JANET RD	KELLY ROBERT/ETAL	KELLY BERNADETTE M	11 JANET RD	ARLINGTON	MA	02474
91-2-12.C	7 JANET RD	VIOLA BENEDICT C & MARY S		7 JANET RD	ARLINGTON	MA	02474
91-2-12.D	77 HEMLOCK ST	FRANGE ADAM R	CLARK VICTORIA R	77 HEMLOCK ST	ARLINGTON	MA	02474
91-2-12.E	73 HEMLOCK ST	OTTOBRE KATHLEEN M		73 HEMLOCK ST	ARLINGTON	MA	02474
91-2-13	26 LANSDOWNE RD	MOLEA PRICILLA N/TRUSTEE	PRISCILLA MOLEA TRUST	26 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-14	20 LANSDOWNE RD	BERGANTINO ANGELO A--ETAL	BERGANTINO TRUST	20 LANSDOWNE RD	ARLINGTON	MA	02474
91-2-15.B	10 JANET RD	BELL CHRISTIAN J & ANA		10 JANET RD	ARLINGTON	MA	02474
91-2-15.C	6 JANET RD	NOGUERA FIDEL & ELIZABETH		6 JANET RD	ARLINGTON	MA	02474

**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 16 LANSDOWNE RD Arlington, MA****Subject Parcel ID: 89-2-1****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address	City/Town	State	Zip
91-2-15.D	2 JANET RD	GONSALES JANIS ROBERTA SORRILH	LANNEVILLE MICHAEL ADRIEN	2 JANET RD	ARLINGTON	MA	02474
91-3-5	43 MILLETT ST	LUONGO CHERYL A/ TRUSTEE	COLMAN THREE REVOCABLE TRUST	43 MILLETT ST	ARLINGTON	MA	02474
91-3-6	0-LOT LANSDOWNE RD	LUONGO CHERYL A / TRUSTEE	COLMAN THREE REVOCABLE TRUST	43 MILLETT ST	ARLINGTON	MA	02474
91-7-1	29 LANSDOWNE RD	COSTELLO CHRISTOPHER	COSTELLO ANITA	29 LANSDOWNE RD	ARLINGTON	MA	02474
91-7-2	33 LANSDOWNE RD	BOYD STEPHEN ALAN	BOYD KENDRA ELEANOR	33 LANSDOWNE RD	ARLINGTON	MA	02474
91-7-3	0-LOT ROCKLAND AVE	BOYD STEPHEN ALAN	BOYD KENDRA ELEANOR	33 LANSDOWNE RD	ARLINGTON	MA	02474
91-7-4	0-LOT ROCKLAND AVE	COSTELLO CHRISTOPHER & ANITA		29 LANSDOWNE RD	ARLINGTON	MA	02474
91-8-1	0-LOT ROCKLAND AVE	GILBERT VANCE/DILL DEBORAH		17 ROCKLAND AVE	ARLINGTON	MA	02474
91-8-2	17 ROCKLAND AVE	GILBERT VANCE/DILL DEBORAH		17 ROCKLAND AVE	ARLINGTON	MA	02474

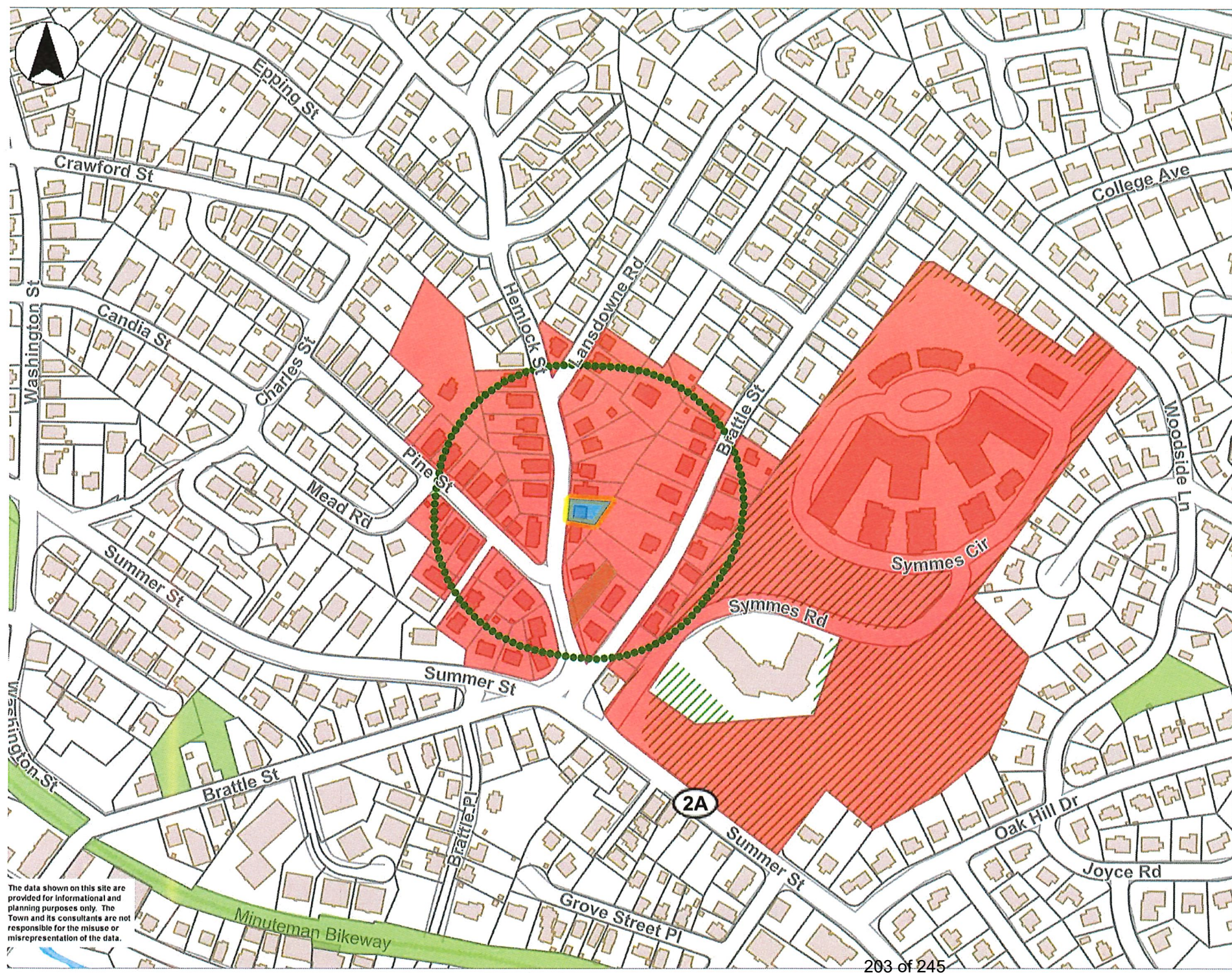
The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 feet.



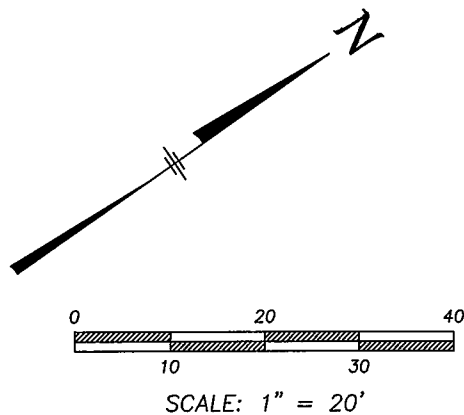
Town of Arlington
Office of the Board of Assessors
730 Massachusetts Ave
Arlington, MA 02476
phone: 781.316.3050
email: assessors@town.arlington.ma.us



- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
 - Open Space: Conserv
 - Open Space - Minuter
 - Open Space - Labels
 - Open Space
 - Town, State, or
 - Other Town Ow
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - f
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
 - Roads - For Large Sc
 - Roads - For Small Sc
 - Major Road
 - Local Road
 - Master Plan Base Map
 - Water Line
 - Water Body



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: JEREMY SYLVAN
TITLE REFERENCE: BK 71852 PG 380
PLAN REFERENCE: BK 138 PLAN 15


THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

SURVEYOR'S CERTIFICATION:

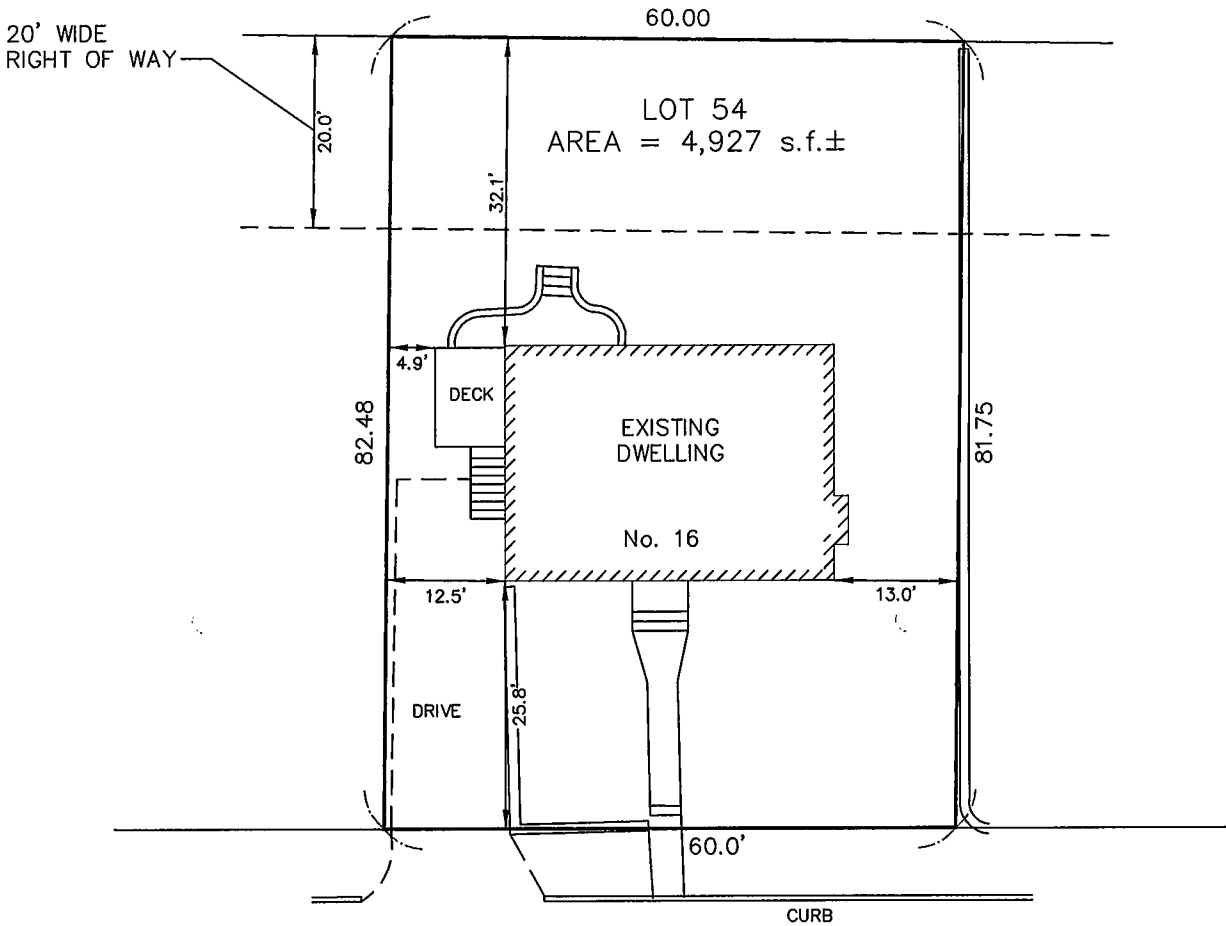
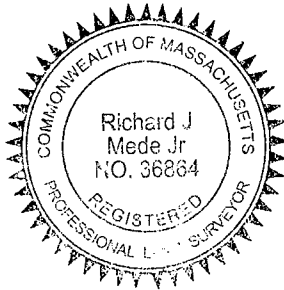
TO: JEREMY SYLVAN

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: AUGUST 8, 2022
DATE OF PLAN: SEPTEMBER 2, 2022


RICHARD J. MEDE, JR. P.L.S.

09/02/2022
DATE:



LANSDOWNE ROAD

CERTIFIED PLOT PLAN
16 LANSDOWNE ROAD
ARLINGTON, MA.
(MIDDLESEX COUNTY)

PREPARED BY:



PREPARED FOR:

JEREMY SYLVAN

DRAWN	CHECKED	FILE No.
CAV	RJM	21640





PROPERTY LOCATION

No	Alt No	Direction/Street/City
16		LANDSDOWNE RD, ARLINGTON

OWNERSHIP

OWNERSHIP				Unit #:	
Owner 1:	SYLVAN JEREMY				
Owner 2:					
Owner 3:					
Street 1:	16 LANSDOWNE RD				
Street 2:					
Twn/City:	ARLINGTON				
St/Prov:	MA	Cntry:		Own Occ:	Y
Postal:	02474			Type:	

PREVIOUS OWNER

Owner 1: PATTON MARLANA C -			
Owner 2: -			
Street 1: 16 LANSLOWNE RD			
Twn/City: ARLINGTON			
St/Prov: MA		Cntry:	
Postal: 02474			

NARRATIVE DESCRIPTION

This parcel contains .113 Sq. Ft. of land mainly classified as One Family with a Cape Building built about 1953, having primarily Vinyl Exterior and 2100 Square Feet, with 1 Unit, 2 Baths, 0 3/4 Bath, 0 HalfBath, 6 Rooms, and 3 Bdrms.

OTHER ASSESSMENTS

Code	Descrip/No	Amount	Com. Int

PROPERTY FACTORS

Item	Code	Description	%	Item	Code	Description
Z	R1	SINGLE FA	100	water		
o				Sewer		
n				Electri		
Census:				Exmpt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

[illegible]

Total AC/HA:	0.11311	Total SF/SM:	4927	Parcel LUC:	101	One Family	Prime NB Desc	ARLINGTON	Total:	465,606	Spl Credit	Total:	465,600
--------------	---------	--------------	------	-------------	-----	------------	---------------	-----------	--------	---------	------------	--------	---------

Disclaimer: This Information is believed to be correct but is subject to change and is not warranted.

Database: AssessPro - ApArlington25

apro

2025

1 of 1
CARD

ARLINGTON

APPRaised:
USE VALUE:
ASSESSed:

Total Card /
842,400 /
842,400 /
842,400 /

Parcel
842,400
842,400
842,400



Patriot
Properties Inc.

USER DEFINED

Prior Id # 1:	56263
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
Prior Id # 1:	
Prior Id # 2:	
Prior Id # 3:	
ASR Map:	
Fact Dist:	
Reval Dist:	
Year:	
LandReason:	
BldReason:	
CivilDistrict:	
Ratio:	

ACTIVITY INFORMATION

Date	Result	By	Name
11/7/2018	MEAS&NOTICE	CC	Chris C
3/30/2009	Measured	345	PATRIOT
2/8/2001	MLS	MM	Mary M
1/24/2000	Measured	163	PATRIOT
12/1/1981		MM	Mary M

Sign:
VERIFICATION OF VISIT NOT DATA
__/__/__

Sign:

VERIFICATION OF VISIT NOT DATA

EXTERIOR INFORMATION

Type:	5	- Cape
Sty Ht:	1T	- 1 & 3/4 Sty
(Liv) Units:	1	Total: 1
Foundation:	1	- Concrete
Frame:	1	- Wood
Prime Wall:	4	- Vinyl
Sec Wall:		%
Roof Struct:	1	- Gable
Roof Cover:	1	- Asphalt Shgl
Color:	WHITE	
View / Desir:		

GENERAL INFORMATION

Grade:	C	- Average
Year Blt:	1953	Eff Yr Blt:
Alt LUC:		Alt %:
Jurisdic:	G4	Fact:
Const Mod:		
Lump Sum Adj:		

INTERIOR INFORMATION

Avg Ht/FL:	STD		
Prim Int Wal:	1 - Drywall		
Sec Int Wall:			%
Partition:	T - Typical		
Prim Floors:	3 - Hardwood		
Sec Floors:			%
Bsmnt Flr:	4 - Carpet		
Subfloor:			
Bsmnt Gar:			
Electric:	3 - Typical		
Insulation:	2 - Typical		
Int vs Ext:	S		
Heat Fuel:	2 - Gas		
Heat Type:	3 - Forced H/W		
# Heat Sys:	1		
% Heated:	100	% AC:	
Solar HW:	NO	Central Vac:	NO
% Com Wal:		% Sprinkled:	

MOBILE HOME

SPEC FEATURES/YARD ITEMS

Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB Fa	Appr Value	JCod	JFact	Juris. Value
19	Patio	D	Y	1	100	G	GD	2005	7.50	T	11.4	101			700			700

More: N Total Yard Items: 700 Total Special Features: Total: 700

BATH FEATURES

Full Bath:	2	Rating:	Average
A Bath:		Rating:	
3/4 Bath:		Rating:	
A 3QBth		Rating:	
1/2 Bath:		Rating:	
A HBth:		Rating:	
OthrFix:		Rating:	

OTHER FEATURES

Kits:	1	Rating:	Good
A Kits:		Rating:	
Frpl:	1	Rating:	Good
WSFlue:		Rating:	

CONDO INFORMATION

Location:			
Total Units:			
Floor:			
% Own:			
Name:			

DEPRECIATION

Phys Cond:	AG	- Avg-Good	26.4%
Functional:			%
Economic:			%
Special:			%
Override:			%
Total:			26.4%

CALC SUMMARY

Basic \$ / SQ:	155.00
Size Adj.:	1.35000002
Const Adj.:	1.00999999
Adj \$ / SQ:	211.343
Other Features:	102250
Grade Factor:	1.00
NBHD Inf:	1.00000000
NBHD Mod:	
LUC Factor:	1.00
Adj Total:	510945
Depreciation:	134889
Depreciated Total:	376056

COMMENTS

--

RESIDENTIAL GRID

1st Res Grid	Desc: Line 1											# Units	1
Level	FY	LR	DR	D	K	FR	RR	BR	FB	HB	L	O	
Other													
Upper													
Lvl 2													
Lvl 1													
Lower													
Totals	RMs: 6		BRs: 3		Baths: 2		HB						

REMODELING

Exterior:	
Interior:	
Additions:	
Kitchen:	2002
Baths:	
Plumbing:	
Electric:	
Heating:	
General:	

RES BREAKDOWN

No Unit	RMS	BRS	FL
1	6	3	M
Totals			
1	6	3	

COMPARABLE SALES

Rate	Parcel ID	Typ	Date	Sale Price
WtAv\$/SQ:		AvRate:		Ind.Val
Juris. Factor:	1.00	Before Dep:	211.34	
Special Features:	0	Val/Su Net:	153.51	
Final Total:	376100	Val/Su SzAd	255.85	

SKETCH

WWDK 10 STG (70)	35	24
7	TQS FFL BMT (840)	
14	35	

SUB AREA

Code	Description	Area - SQ	Rate - AV	Undepr Value	
BMT	Basement	840	113.930	95,699	
FFL	First Floor	840	211.340	177,528	
TQS	3/4 Story	630	211.340	133,146	
STG	Storage	70	8.950	626	
WDK	Deck	70	24.240	1,697	
Net Sketched Area:		2,450	Total:	408,696	
Size Ad	1470	Gross Area	2660	FinArea	2100

SUB AREA DETAIL

Sub Area	% Usbl	Descrip	% Type	Qu	# Ten
BMT	100	RRM	75	V	

IMAGE

AssessPro Patriot Properties, Inc













A DESIGN FOR:

THE SYLVAN AND HICKMAN RESIDENCE

PROJECT ADDRESS: 16 LANSDOWNE ROAD, ARLINGTON, MA 02474

DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SET FIRST ISSUED: MARCH 8, 2025

DRAWING DIRECTORY

SHEET #	SHEET NAME	SHEET FIRST ISSUED	CURRENT REVISION DATE
1. ARCHITECTURAL DRAWINGS			
A0.0	COVER PAGE		
A0.1	SITE PLAN	MARCH 8, 2025	
A1.0	BASEMENT PROPOSED & DEMO PLANS	MARCH 8, 2025	
A1.1	FIRST FLOOR PROPOSED & DEMO PLANS	MARCH 8, 2025	
A1.2	SECOND FLOOR PROPOSED & DEMO FLOOR PLANS	MARCH 8, 2025	
A2.1	EXTERIOR ELEVATIONS	MARCH 8, 2025	
A2.2	EXTERIOR ELEVATIONS	MARCH 8, 2025	
A3.1	BUILDING SECTIONS	MARCH 8, 2025	
2. STRUCTURAL DRAWINGS			
S0.1	GENERAL NOTES	DECEMBER 12, 2022	
S1.1	FOUNDATION PLAN	DECEMBER 12, 2022	
S1.2	SECOND FLOOR FRAMING PLAN	DECEMBER 12, 2022	
S1.3	ROOF FRAMING	DECEMBER 12, 2022	

INTERIOR PERSPECTIVE



PERSPECTIVES



PROJECT DESCRIPTION

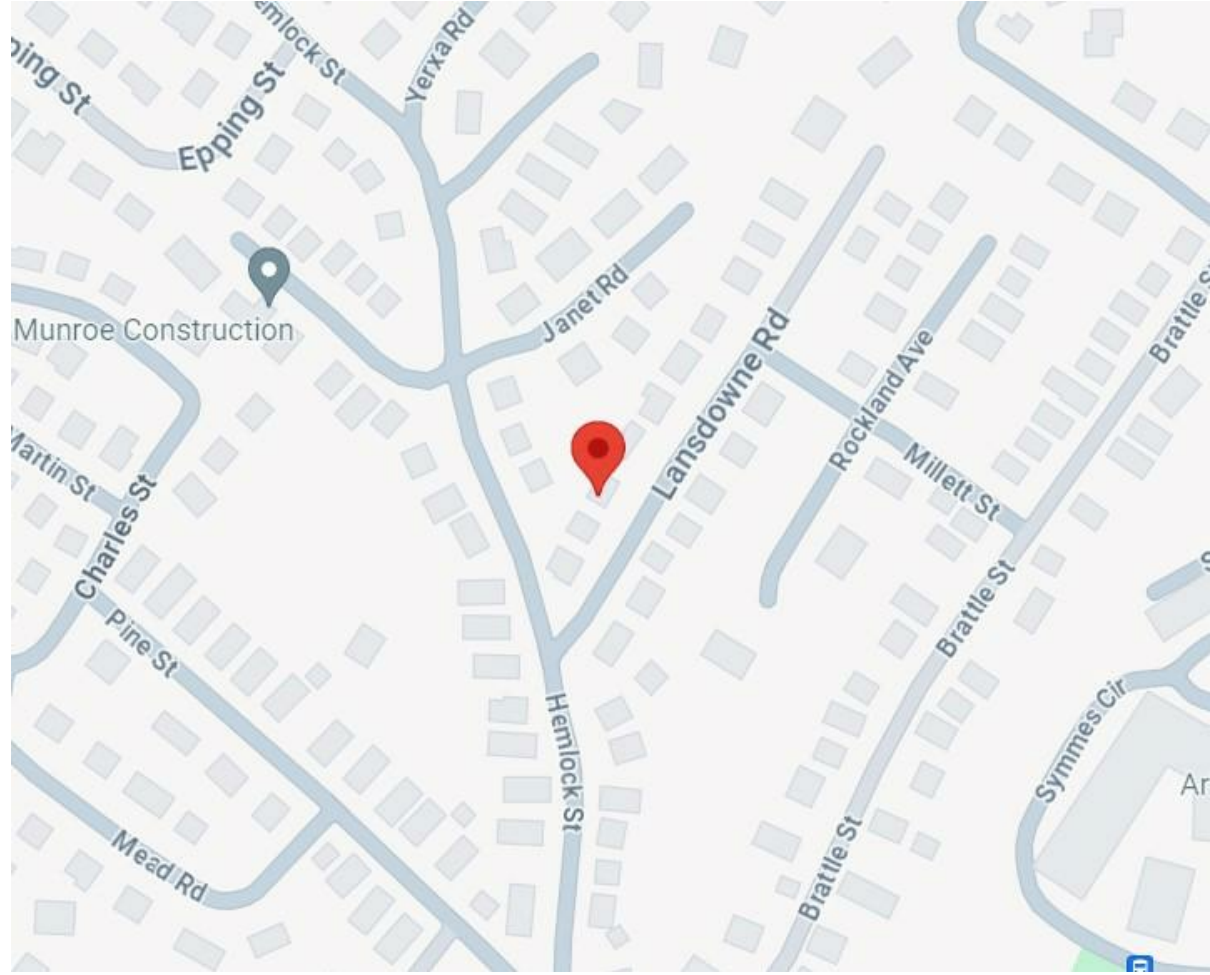
- RENOVATIONS AND ADDITIONS TO AN EXISTING HOME

PROJECT DIRECTORY

DESIGNER:
PRESTON DESIGN, INC.
PRINCIPAL DESIGNER: NICHOLAS TROY PRESTON
EMAIL: NICHOLASPRESTONDESIGN@GMAIL.COM
PHONE: 401.573.2922
WEBSITE: WWW.PRESTON.DESIGN

STRUCTURAL ENGINEER:
TBD

LOCUS MAP



THIS DRAWING SHEET SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNTIL IT HAS BEEN COORDINATED WITH FRAMING AND FOUNDATION DRAWINGS THAT ARE BOTH DRAWN AND STAMPED BY A QUALIFIED STRUCTURAL ENGINEER WHO IS LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED. PRESTON DESIGN, INC. IS THE SOLE AUTHOR AND COPYRIGHT OWNER OF THESE PLANS. OWNING A COPY OF THESE PLANS GRANTS A LICENSE TO BUILD ONE HOME AND/OR ADDITION. THESE PLANS ARE NOT TO BE USED IN CONJUNCTION WITH OR FOR ANY OTHER PROJECT.

PRESTON DESIGN INC

50 MAGNOLIA WAY
BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholasprestondesign@gmail.com
PHONE: 401.573.2922
PDF FILE NAME:
005-16-Lansdowne-Road-Design-Review-March-8-2025

PROJECT NAME:
THE SYLVAN AND HICKMAN RESIDENCE

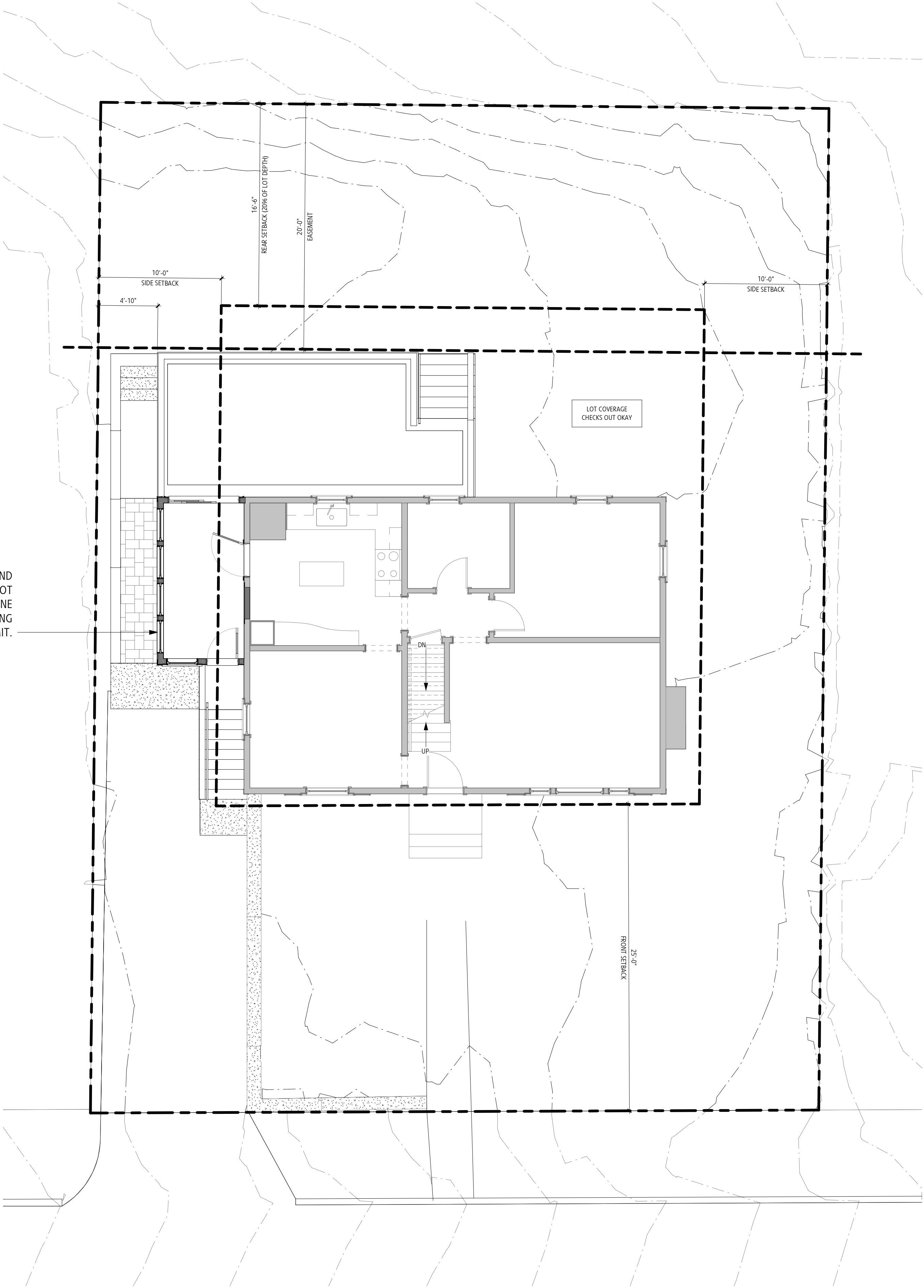
PROJECT ADDRESS:
16 LANSDOWNE ROAD, ARLINGTON, MA 02474
DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SHEET NAME:
COVER PAGE

SHEET FIRST
ISSUED: MARCH 8, 2025
REVISIONS:
SCALE:
CLIENT: JEREMY SYLVAN AND
MADELINE HICKMAN
PROJECT #: 284
SHEET #:

A0.0

NEW ADDITION REPLACES EXISTING DECK AND
STORAGE ROOM FOOTPRINT AND DOES NOT
ENCROUCH ANY MORE TOWARDS THE LOT LINE
THAN THE EXISTING STRUCTURE. ZONING
APPROVAL REQUIRED FOR PERMIT.



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SHEET NAME
SITE PLAN

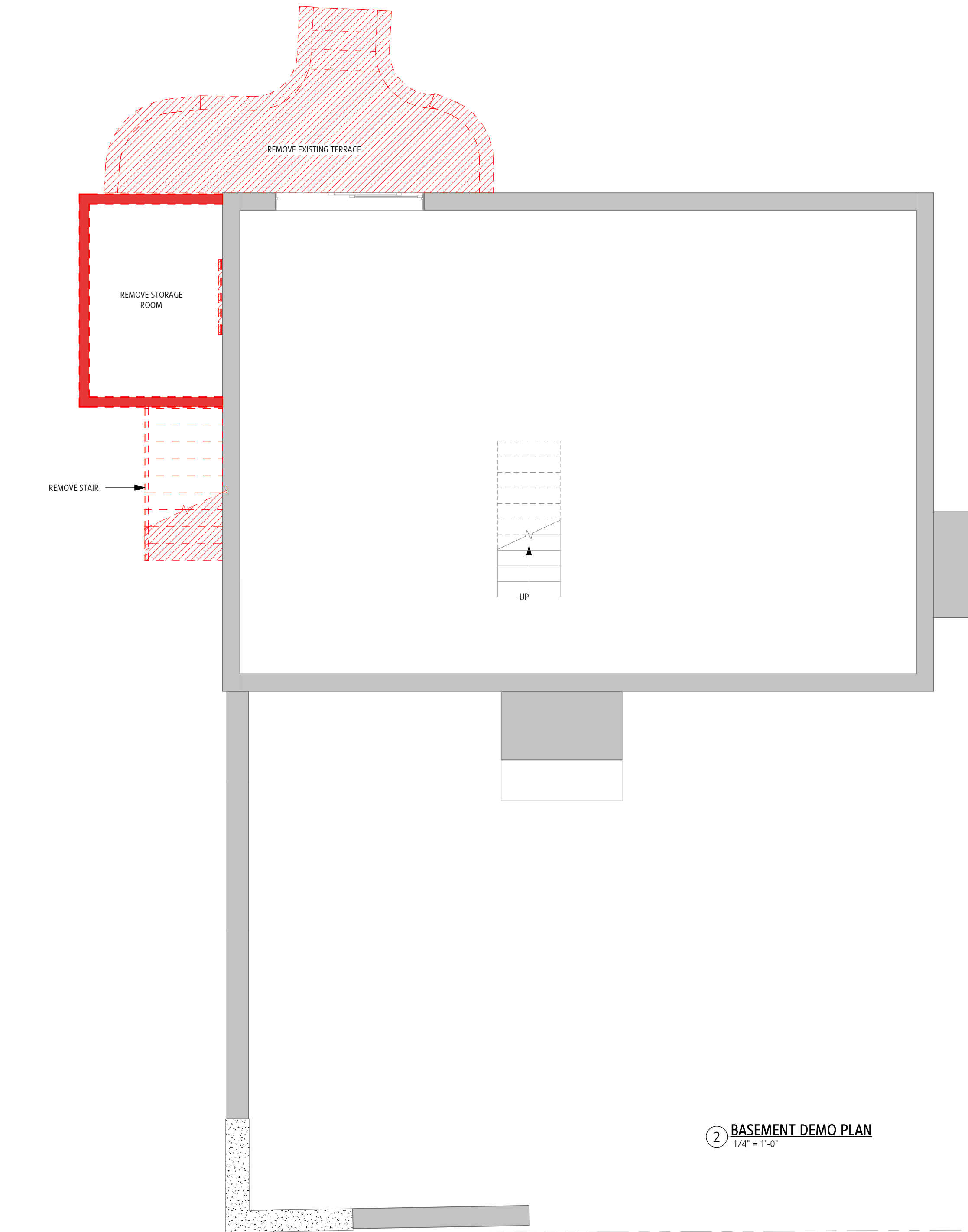
SHEET FIRST
ISSUED: MARCH 8, 2025
REVISED:
SCALE: 3/16" = 1'-0"
CLIENT: JEREMY SYLVAN AND
MADELINE HICKMAN
PROJECT #: 284
SHEET #:

PROJECT NAME:
THE SYLVAN AND HICKMAN RESIDENCE

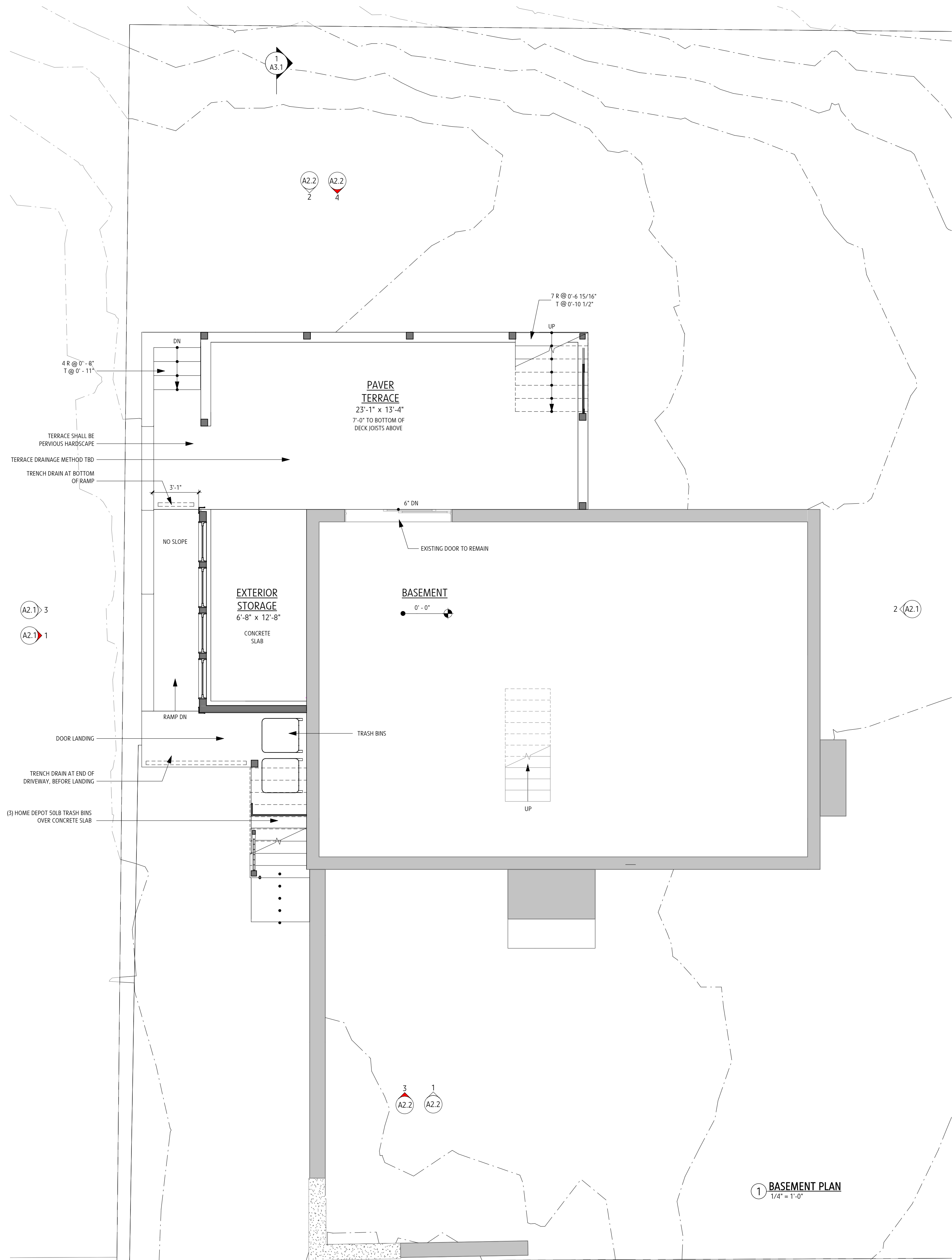
PROJECT ADDRESS:
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PRESTON DESIGN INC

50 MAGNOLIA WAY
BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholas@preston-design.com
PHONE: 401.573.2922
PDF FILE NAME:
005-16-Lansdowne-Road-Design-Review-March-8-2025

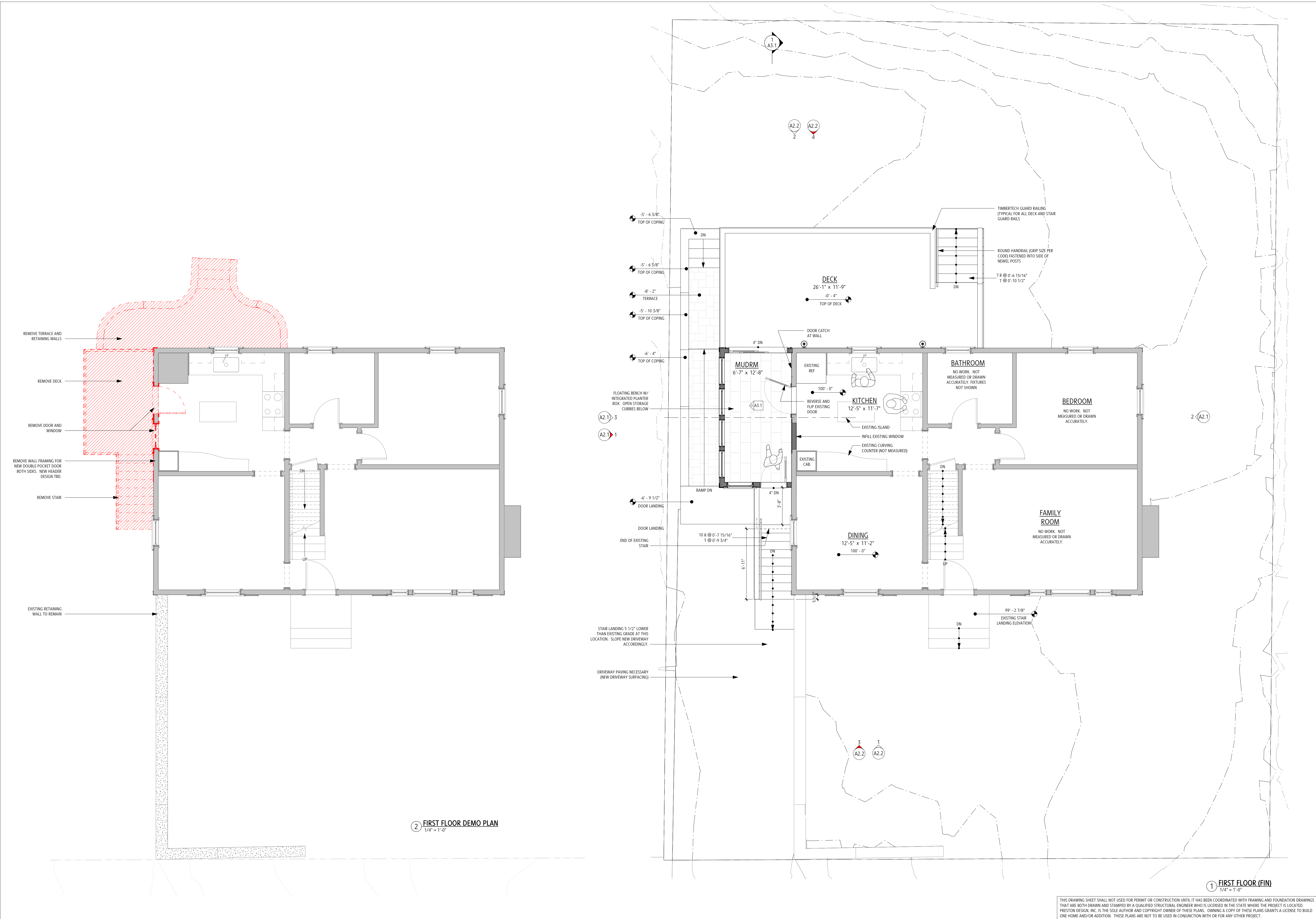


2 BASEMENT DEMO PLAN
1/4" = 1'-0"



1 BASEMENT PLAN
1/4" = 1'-0"

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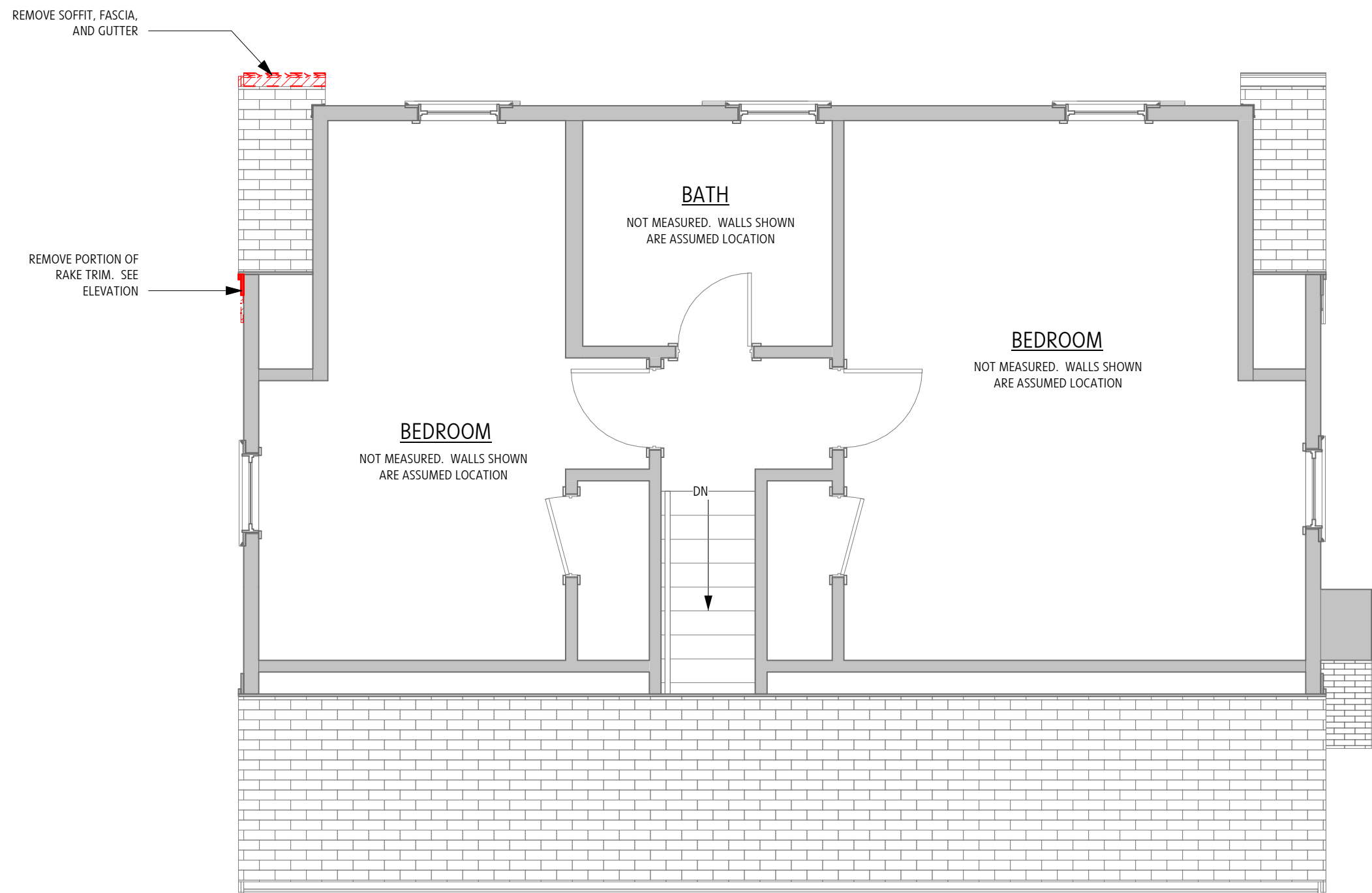
PRESTON DESIGN INC
50 MAGNOLIA WAY
BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholas@prestdesign.com
PHONE: 401.573.2922
PDF FILE NAME:
005-16-Lansdowne-Road-Design-Review-March-8-2025

PROJECT NAME:
THE SYLVAN AND HICKMAN RESIDENCE
PROJECT ADDRESS:
16 LANSDOWNE ROAD, ARLINGTON, MA 02474
DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SHEET NAME:
FIRST FLOOR PROPOSED & DEMO PLANS

SHEET FIRST
ISSUED: MARCH 8, 2025
REVISED:
SCALE: 1/4" = 1'-0"
CLIENT: JEREMY SYLVAN AND
MADELINE HICKMAN
PROJECT #: 284
SHEET #:

A1.1



2 SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

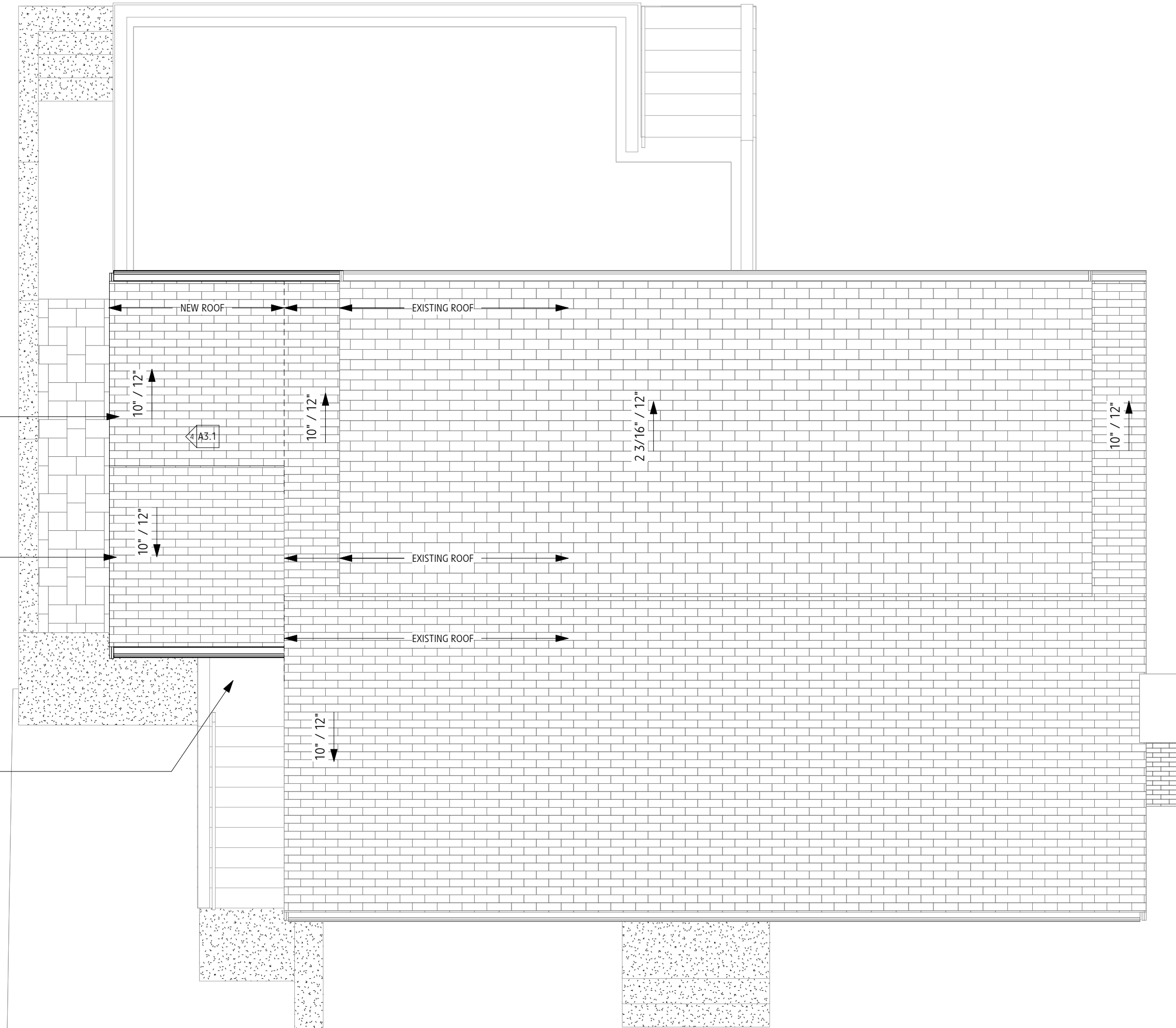
ASPHALT SHINGLE ROOF TO MATCH EXISTING

A2.1 3

A2.1 1

ASPHALT SHINGLE ROOF TO MATCH EXISTING

STANDING SEAM METAL ROOF



1 ROOF PLAN
1/4" = 1'-0"

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SHEET NAME:

SECOND FLOOR PROPOSED & DEMO FLOOR PLANS

SHEET FIRST

ISSUED: MARCH 8, 2025

REVISED:

SCALE: 1/4" = 1'-0"

CLIENT: JEREMY SYLVAN AND MADELINE HICKMAN

PROJECT #: 284

SHEET #:

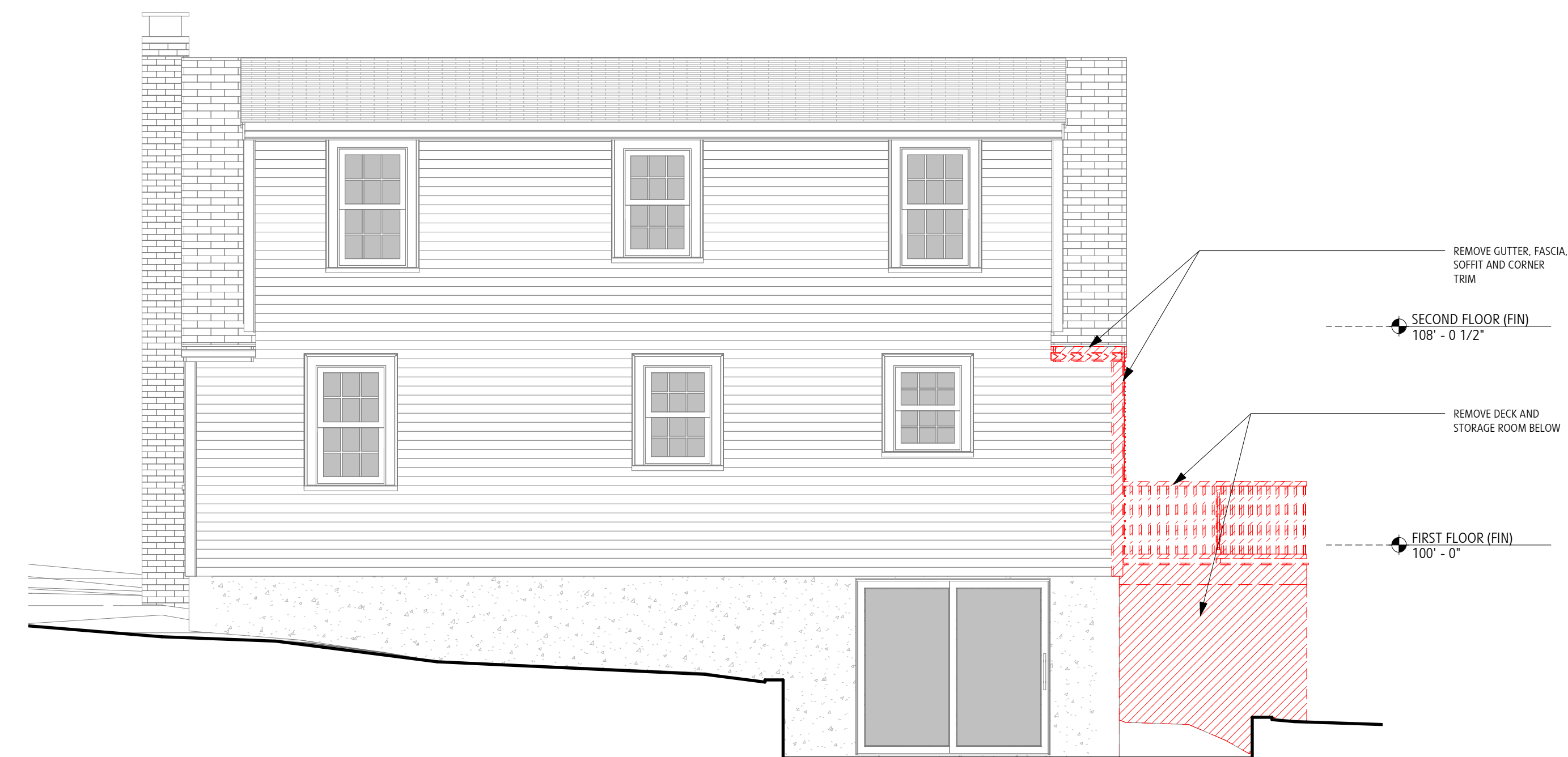
PROJECT NAME:
THE SYLVAN AND HICKMAN RESIDENCE

PROJECT ADDRESS:
16 LANSOWNE ROAD, ARLINGTON, MA 02474
DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

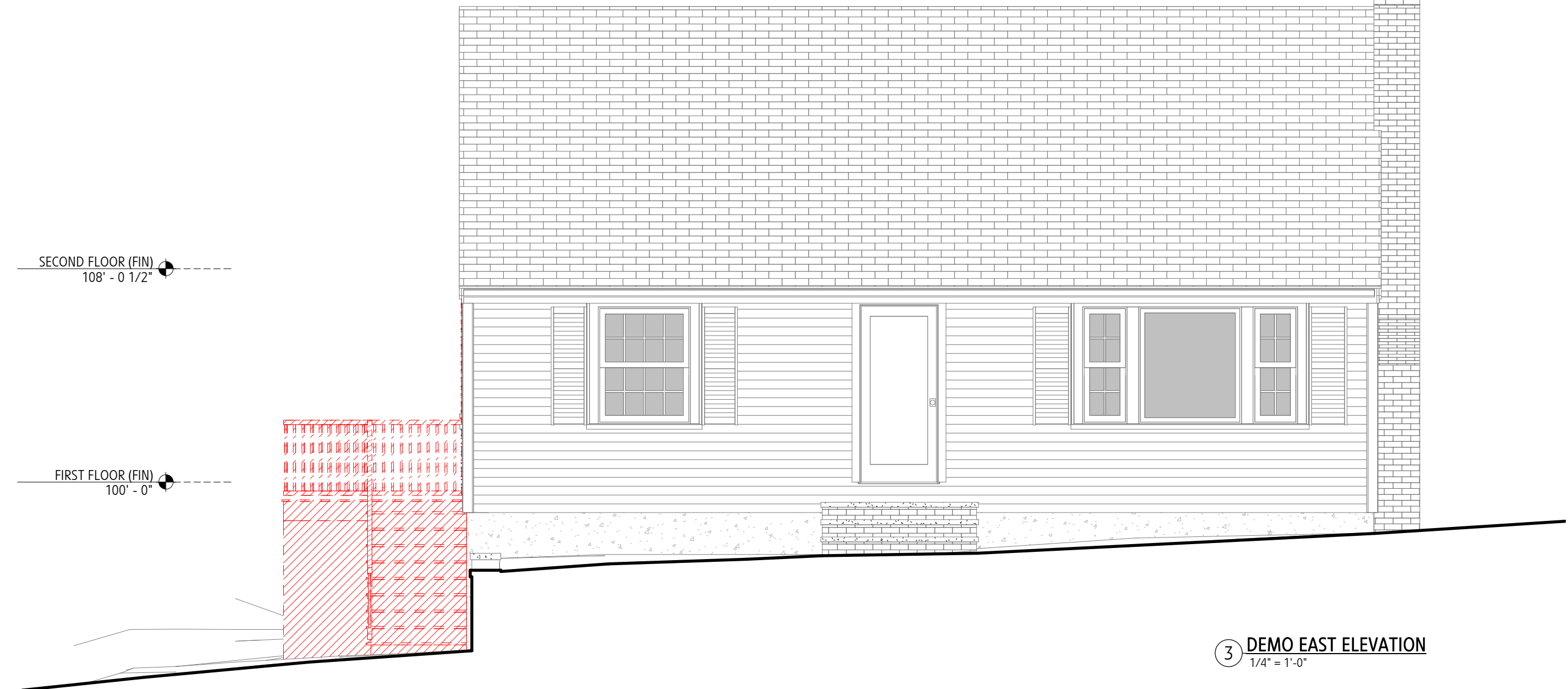
PRESTON DESIGN INC

50 MAGNOLIA WAY
BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholasprestondesign@gmail.com
PHONE: 401.573.2922
PDF FILE NAME:
005-16-Lansdowne-Road-Design-Review-March-8-2025

A1.2



4 DEMO WEST ELEVATION
1/4" = 1'-0"



3 DEMO EAST ELEVATION
1/4" = 1'-0"



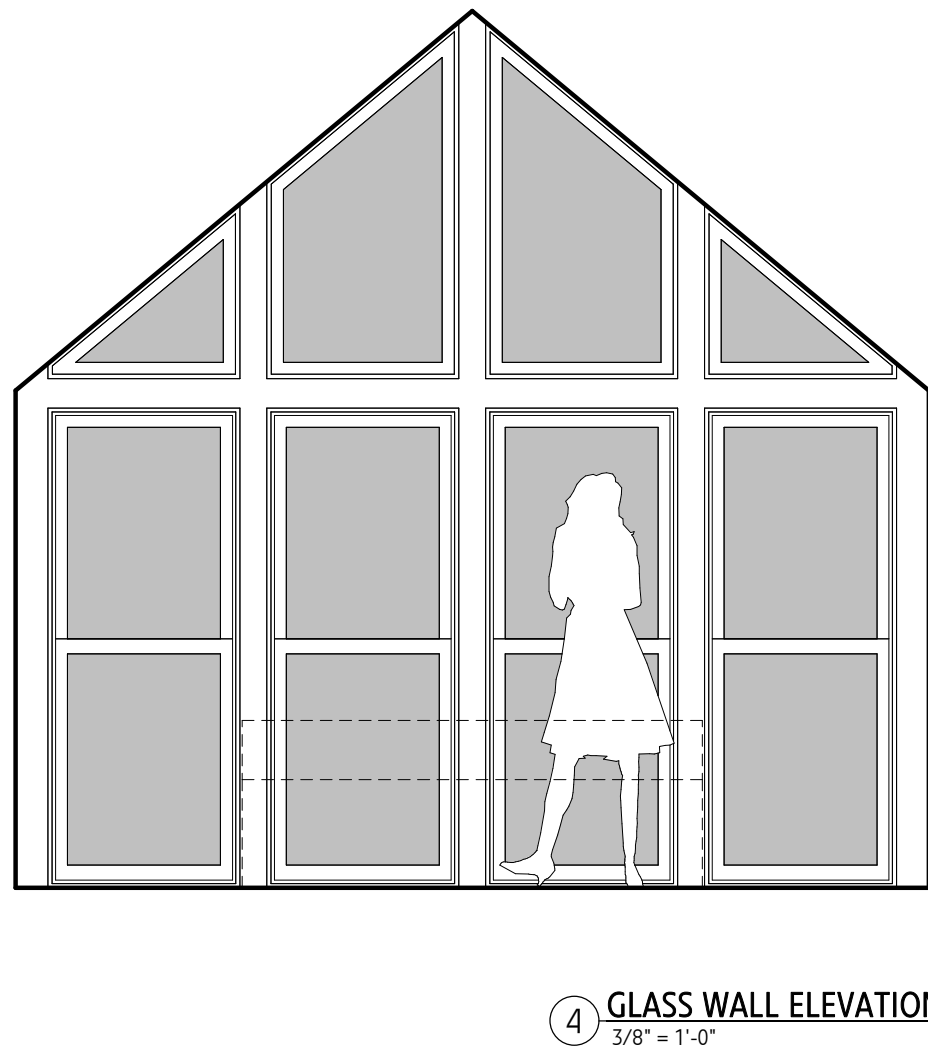
2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

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REVISION #	DATE



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REVISION #	DATE

A DESIGN FOR:

DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SET FIRST ISSUED:	MARCH 10, 2025
-------------------	----------------

DRAWING DIRECTORY			
SHEET #	SHEET NAME	SHEET FIRST ISSUED	CURRENT REVISION DATE
1. ARCHITECTURAL DRAWINGS			
A0.0	COVER PAGE	MARCH 10, 2025	
A1.0	SITE PLAN	MARCH 10, 2025	
A1.0	BASEMENT PROPOSED & DEMO PLANS	MARCH 10, 2025	
A1.1	FIRST FLOOR PROPOSED & DEMO PLANS	MARCH 10, 2025	
A1.2	SECOND FLOOR PROPOSED & DEMO FLOOR PLANS	MARCH 10, 2025	
A2.1	EXTERIOR ELEVATIONS	MARCH 10, 2025	
A2.2	EXTERIOR ELEVATIONS	MARCH 10, 2025	
A3.1	BUILDING SECTIONS	MARCH 10, 2025	
2. STRUCTURAL DRAWINGS			
S0.1	GENERAL NOTES	DECEMBER 12, 2022	
S1.1	FOUNDATION PLAN	DECEMBER 12, 2022	
S1.2	SECOND FLOOR FRAMING PLAN	DECEMBER 12, 2022	
S1.3	ROOF FRAMING	DECEMBER 12, 2022	

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S1.3	ROOF FRAMING	DECEMBER 12, 2022	

PERSPECTIVES

The image displays three perspective drawings of a two-story house, likely a Cape Cod style, featuring a gambrel roof and a prominent front porch. The house is shown from three different angles: a side-rear view, a rear view, and a front view. The exterior is clad in horizontal siding, and the foundation is constructed from stone. The front porch is elevated and features a large, multi-paned glass door and windows. A chimney is visible on the right side of the roof. The drawings are rendered in a simple line-art style, emphasizing the architectural details and the overall form of the building.

PROJECT DESCRIPTION

- RENOVATIONS AND ADDITIONS TO AN EXISTING HOME

- RENOVATIONS AND ADDITIONS TO AN EXISTING HOME

PROJECT DIRECTORY

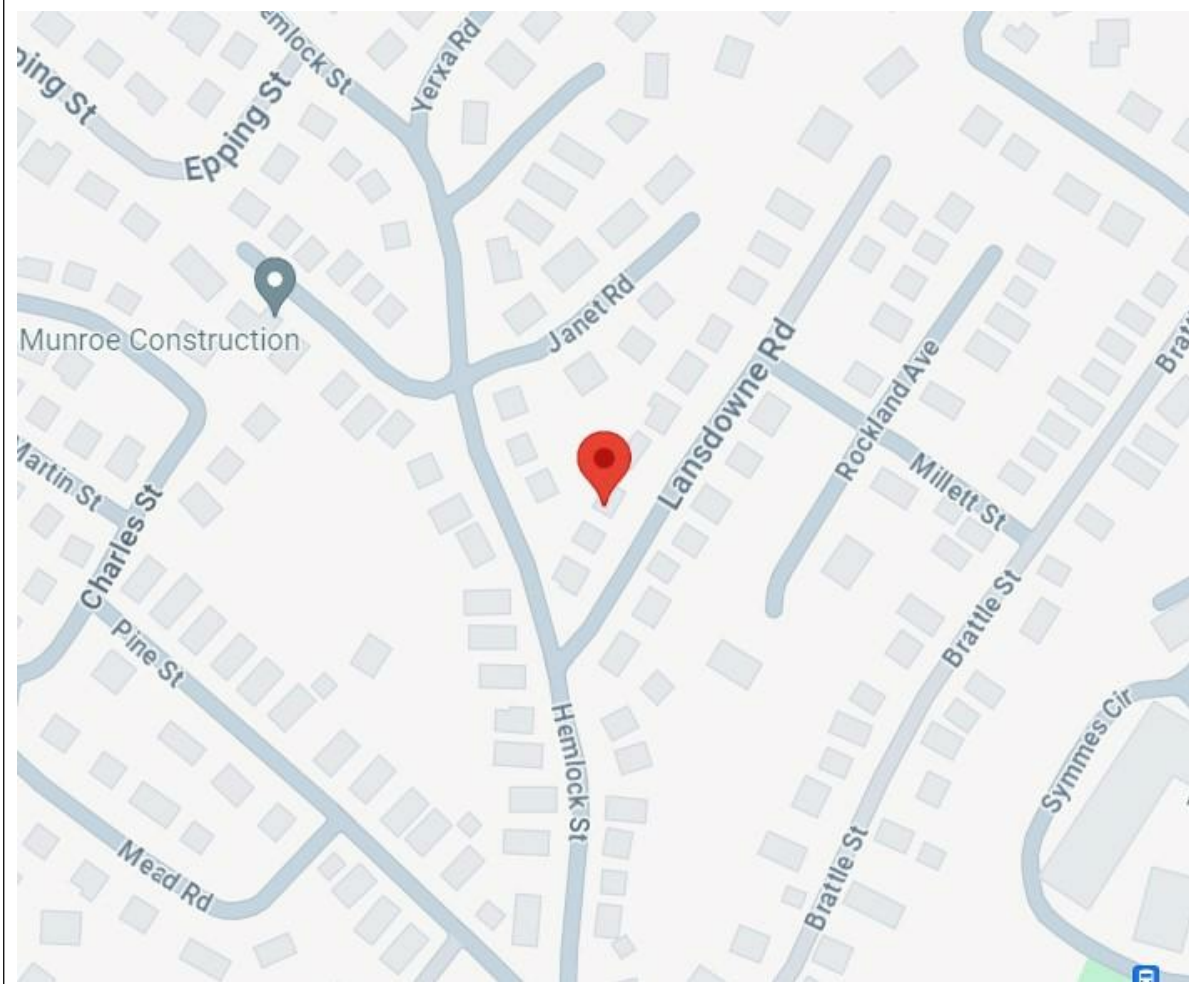
DESIGNER:
PRESTON DESIGN, INC.
PRINCIPAL DESIGNER: NICHOLAS TROY PRESTON
EMAIL: NICHOLASPRESTONDESIGN@GMAIL.COM
PHONE: 401.573.2922
WEBSITE: WWW.PRESTON.DESIGN

STRUCTURAL ENGINEER:
TBD

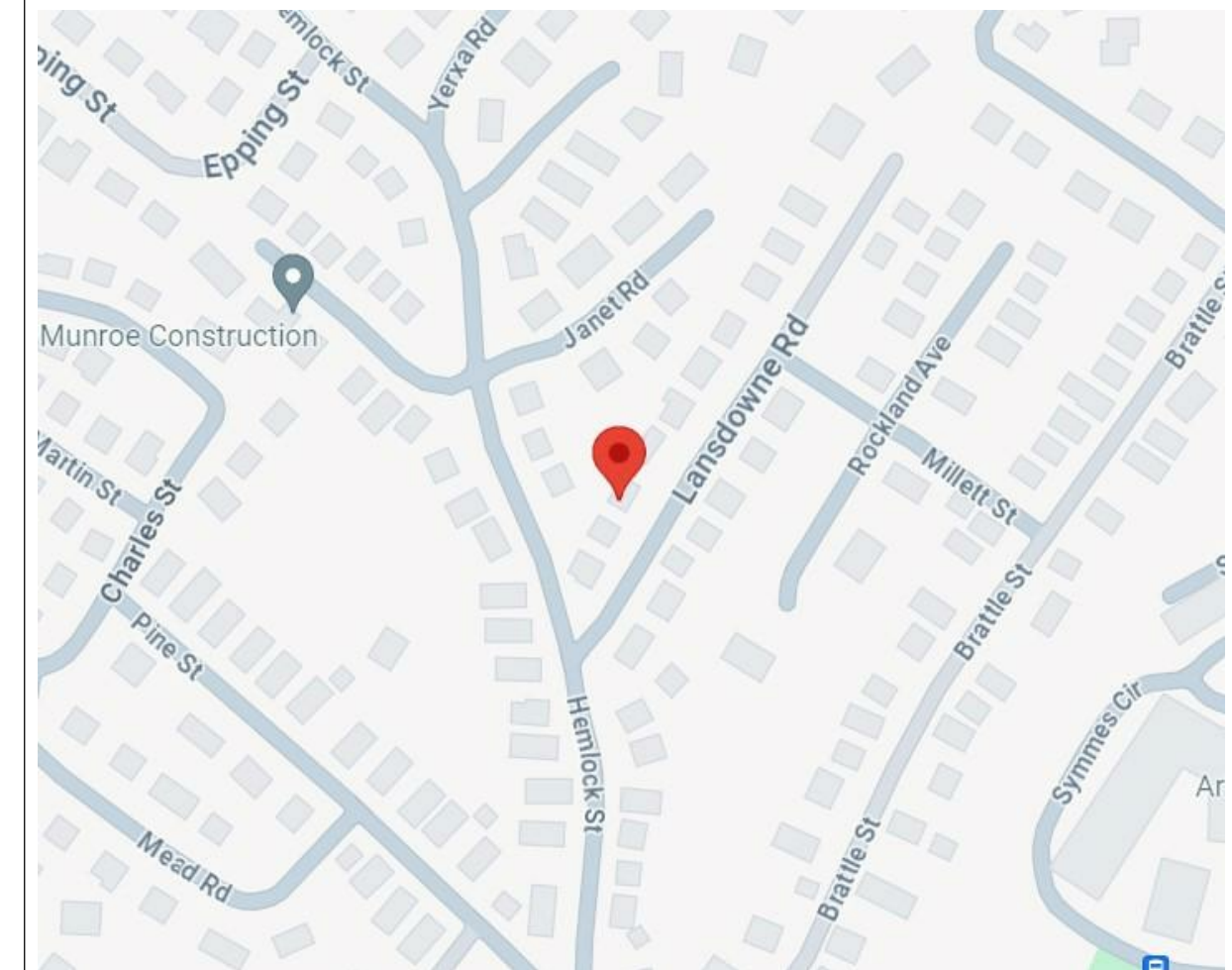
DESIGNER:
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EMAIL: NICHOLASPRESTONDESIGN@GMAIL.COM
PHONE: 401.573.2922
WEBSITE: WWW.PRESTON.DESIGN

STRUCTURAL ENGINEER:
TBD

LOCUS MAP



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PRESTON DESIGN INC
50 MAGNOLIA WAY

BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholasprestondesign@gmail.com
WEBSITE: www.preston.design
PDF FILE NAME:
006-16-Lansdowne-Road-Design-Review-March-10-2015

THE SYLVAN AND HICKMAN RESIDENCE

16 LANSDOWNE ROAD, ARLINGTON, MA 02474

REVISION # | DATE

COVER PAGE

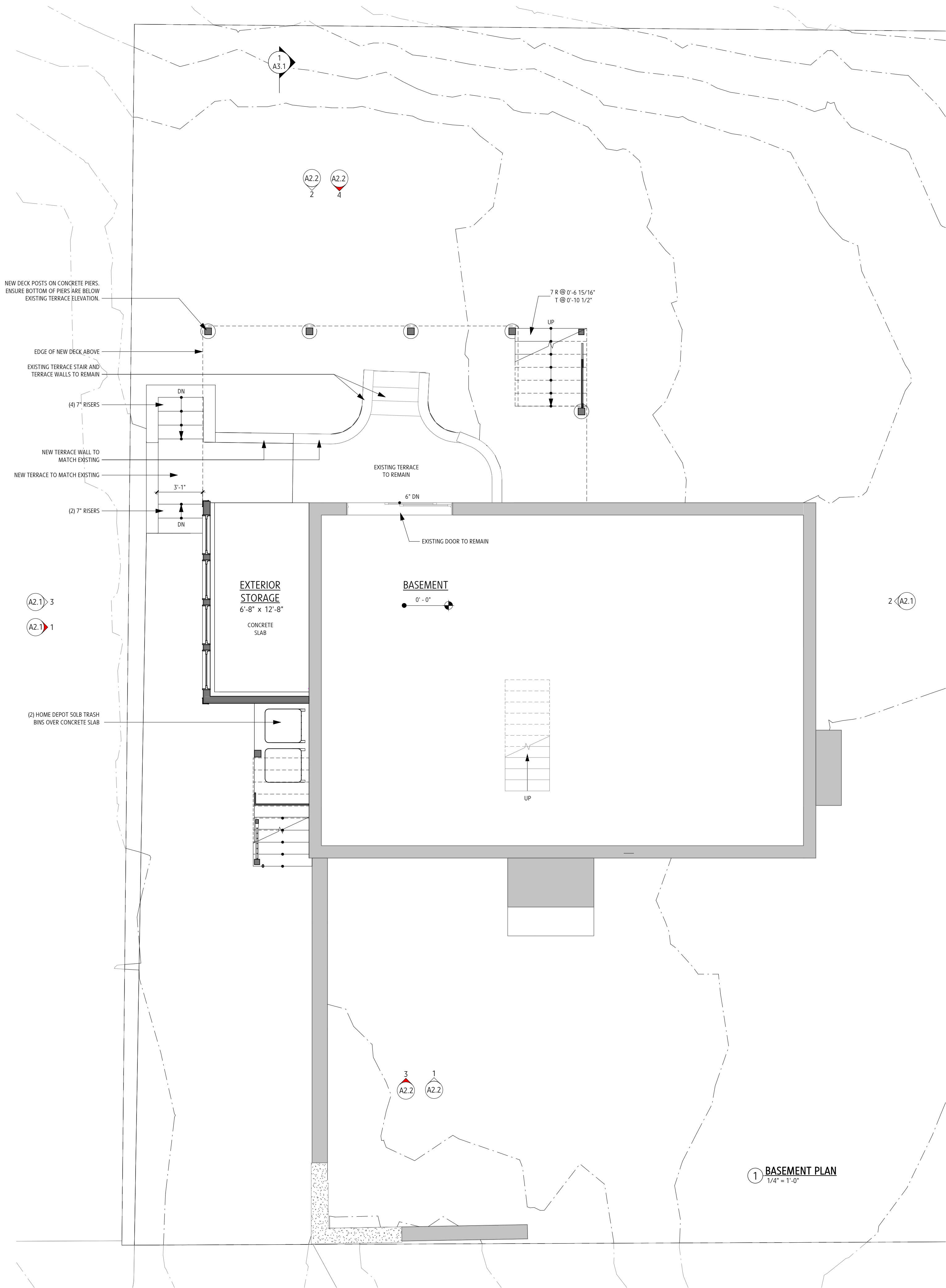
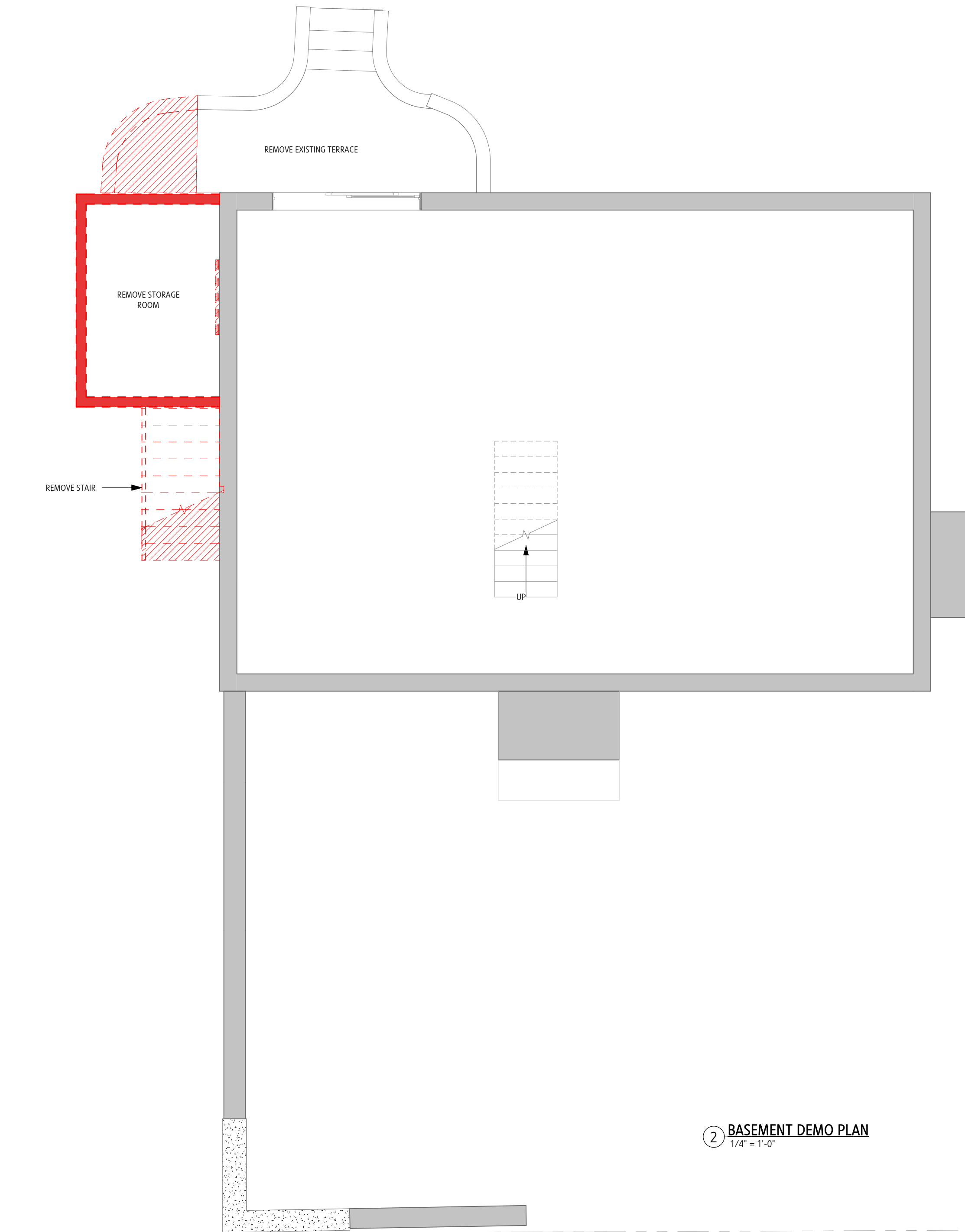
SHEET FIRST
 ISSUED: MARCH 10, 2025
 REVISED:
 SCALE:
 CLIENT: JEREMY SYLVAN AND
 MADELINE HICKMAN
 PROJECT #: 284
 SHEET #:

A0.0

[illegible]

1 PROPOSED SITE PLAN
3/16" = 1'-0"

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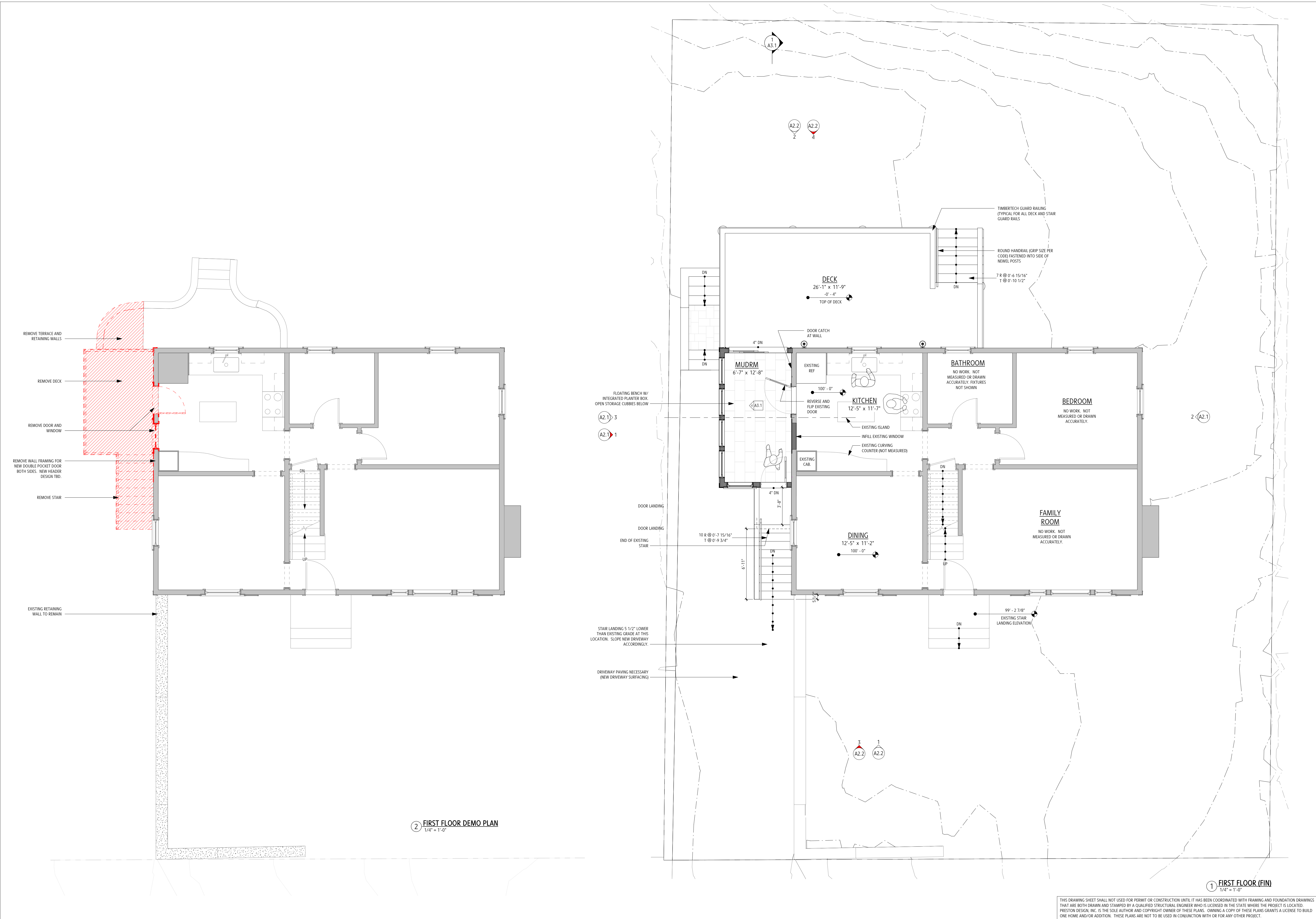
PROJECT NAME:
THE SYLVAN AND HICKMAN RESIDENCE

PROJECT ADDRESS:
16 LANSDOWNE ROAD, ARLINGTON, MA 02474
DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SHEET NAME:
BASEMENT PROPOSED & DEMO PLANS

SHEET FIRST
ISSUED: MARCH 10, 2025
REVISED:
SCALE: 1/4" = 1'-0"
CLIENT: JEREMY SYLVAN AND
MADELINE HICKMAN
PROJECT #: 284
SHEET #:

A1.0



PRESTON DESIGN INC

50 MAGNOLIA WAY
BRIDGEWATER, MA 02324
DIRECT: 401.573.2922
EMAIL: nicholas@prestdesign.com
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PROJECT NAME:

THE SYLVAN AND HICKMAN RESIDENCE

PROJECT ADDRESS:

16 LANSDOWNE ROAD, ARLINGTON, MA 02474

DOCUMENTS ISSUED FOR:

DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

SHEET NAME:

FIRST FLOOR PROPOSED & DEMO PLANS

SHEET FIRST

MARCH 10, 2025

ISSUED:

REVISED:

SCALE:

1/4" = 1'-0"

CLIENT:

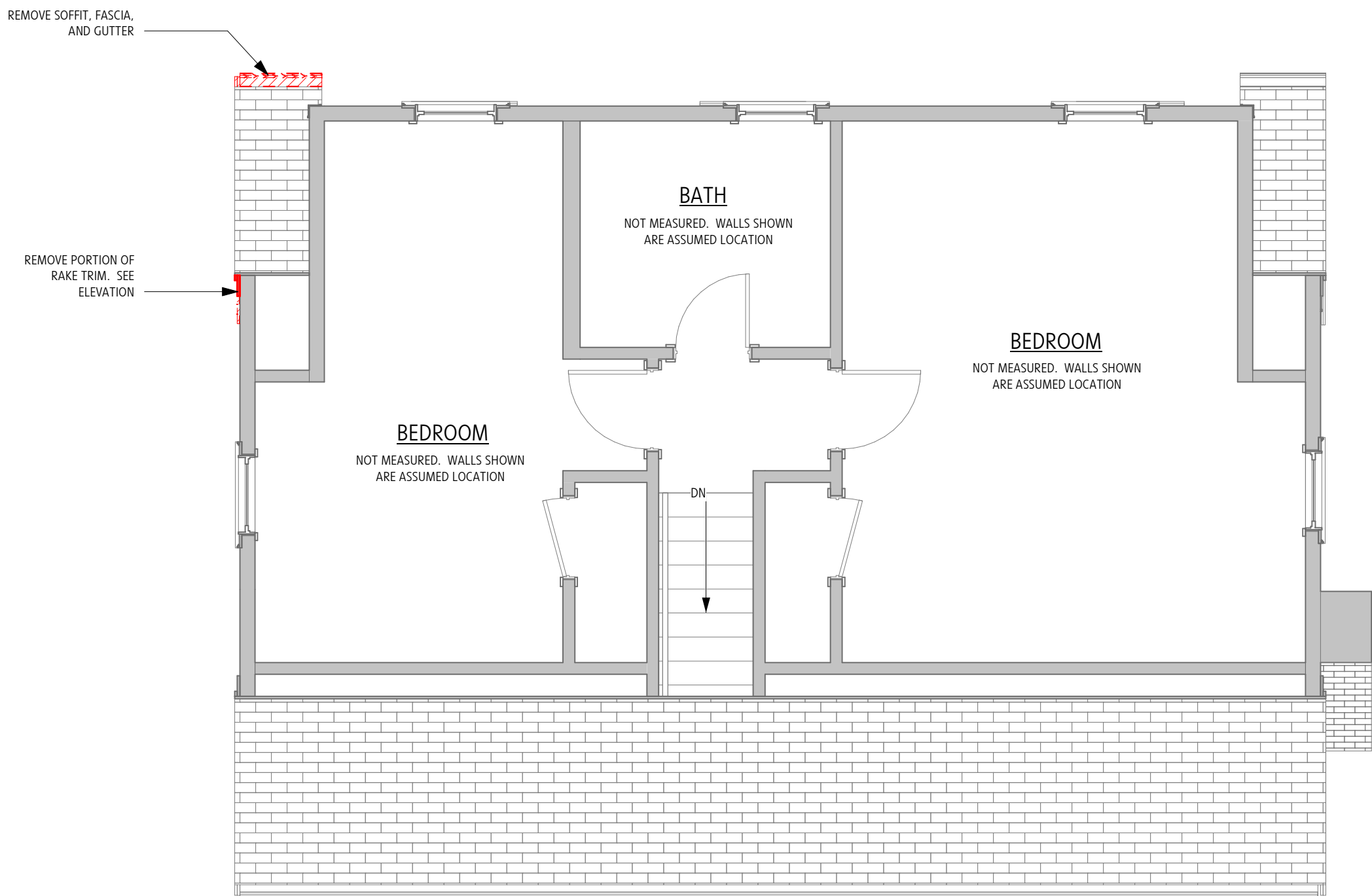
JEREMY SYLVAN AND
MADELINE HICKMAN

PROJECT #:

284

SHEET #:

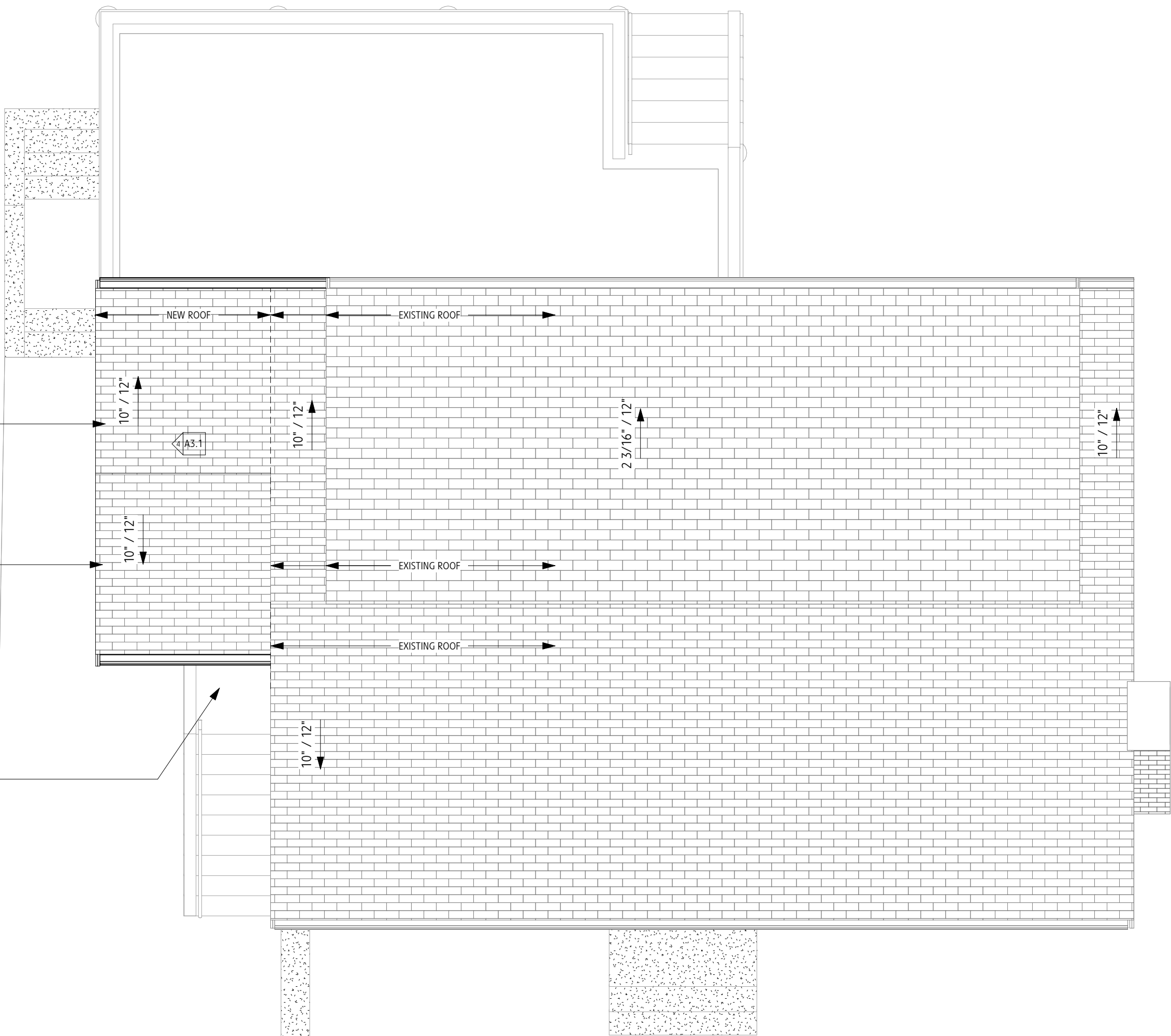
A1.1



② SECOND FLOOR DEMO PLAN
1/4" = 1'-0"

ASPHALT SHINGLE ROOF TO MATCH EXISTING
A2.1 3
A2.1 1
ASPHALT SHINGLE ROOF TO MATCH EXISTING

STANDING SEAM METAL ROOF



① ROOF PLAN
1/4" = 1'-0"

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SHEET NAME:

SECOND FLOOR PROPOSED & DEMO FLOOR PLANS

SHEET FIRST
ISSUED: MARCH 10, 2025
REVISED:
SCALE: 1/4" = 1'-0"
CLIENT: JEREMY SYLVAN AND MADELINE HICKMAN
PROJECT #: 284
SHEET #:

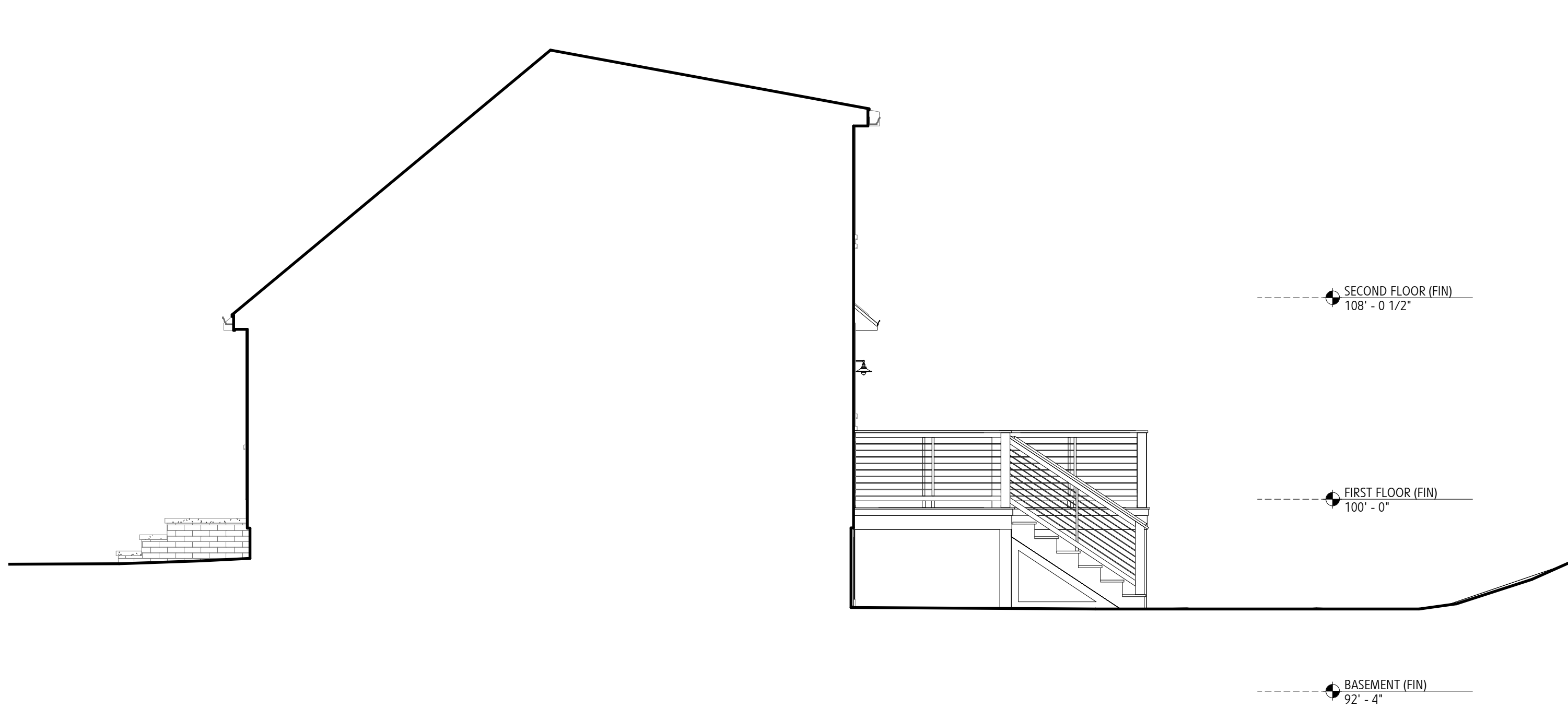
PROJECT NAME:

THE SYLVAN AND HICKMAN RESIDENCE

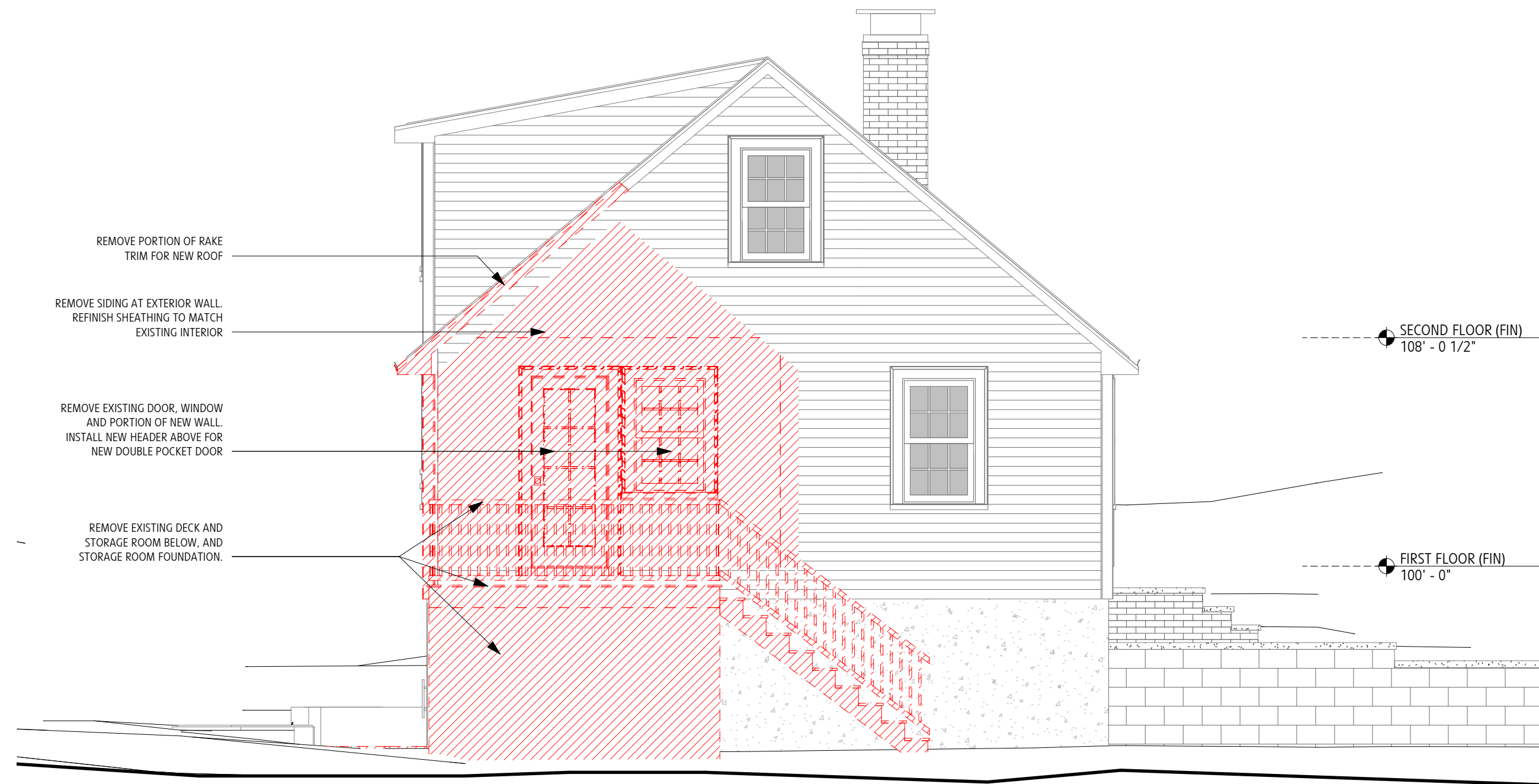
PROJECT ADDRESS:
16 LANSOWNE ROAD, ARLINGTON, MA 02474
DOCUMENTS ISSUED FOR: DESIGN REVIEW ONLY. NOT FOR PERMIT OR CONSTRUCTION.

PRESTON DESIGN INC

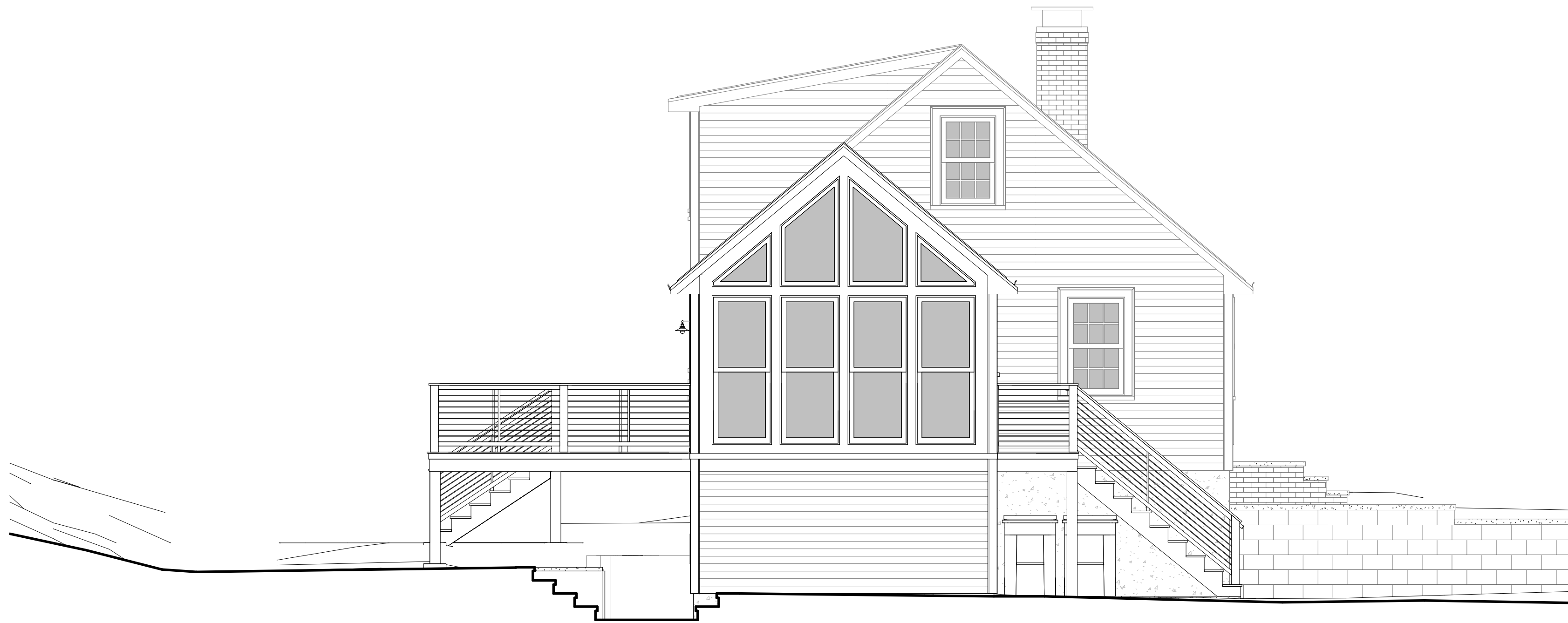
50 MAGNOLIA WAY
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JEREMY SYLVAN
PRESTON DESIGN
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2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

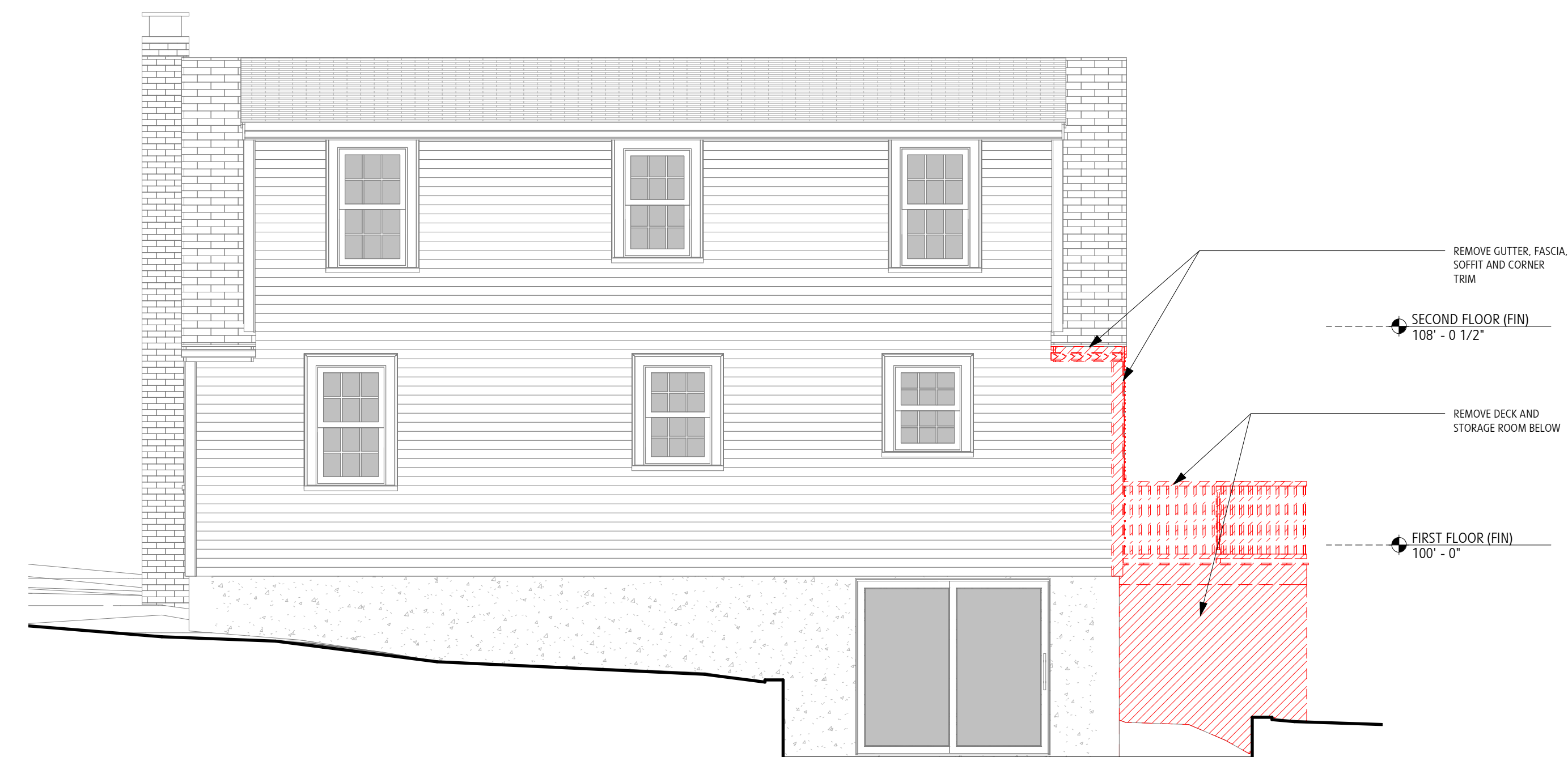


1 DEMO SOUTH ELEVATION
1/4" = 1'-0"

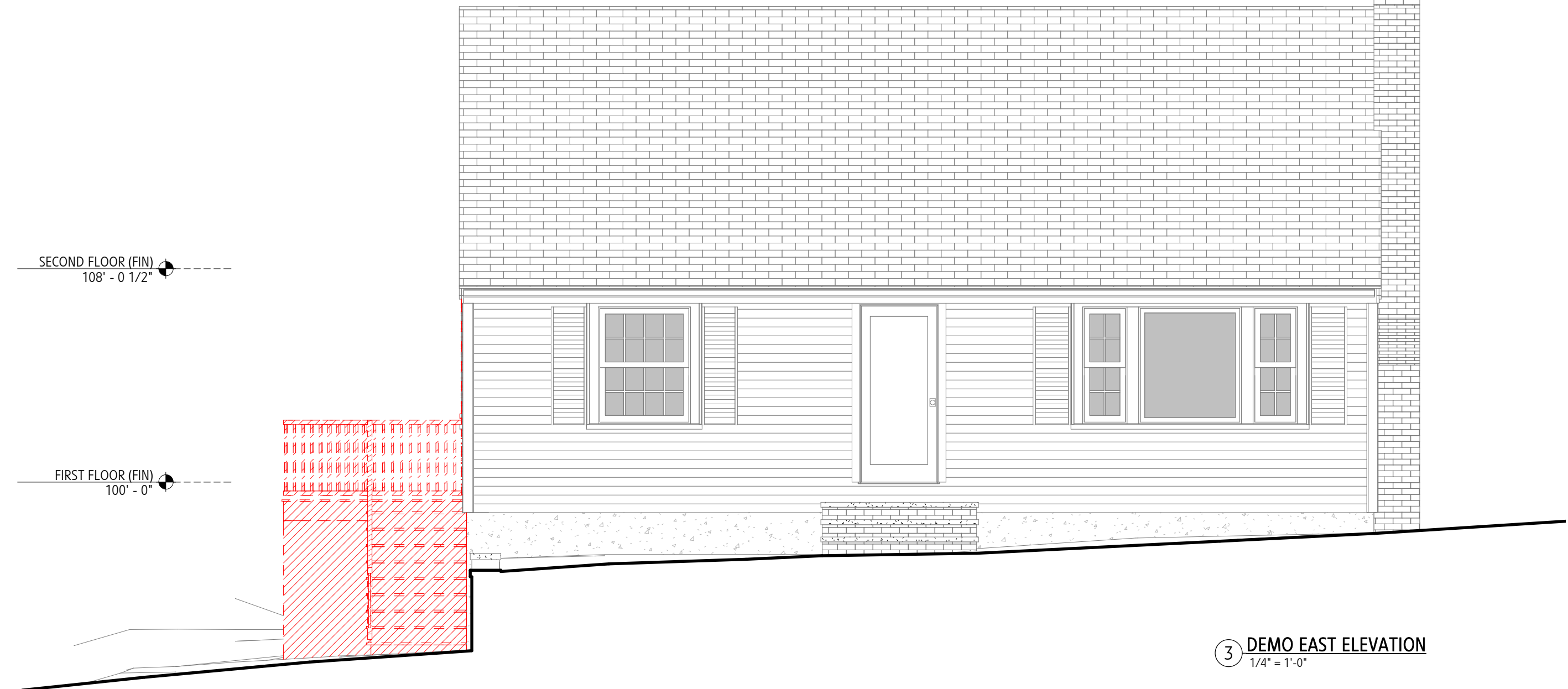


3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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4 DEMO WEST ELEVATION
1/4" = 1'-0"



3 DEMO EAST ELEVATION
1/4" = 1'-0"



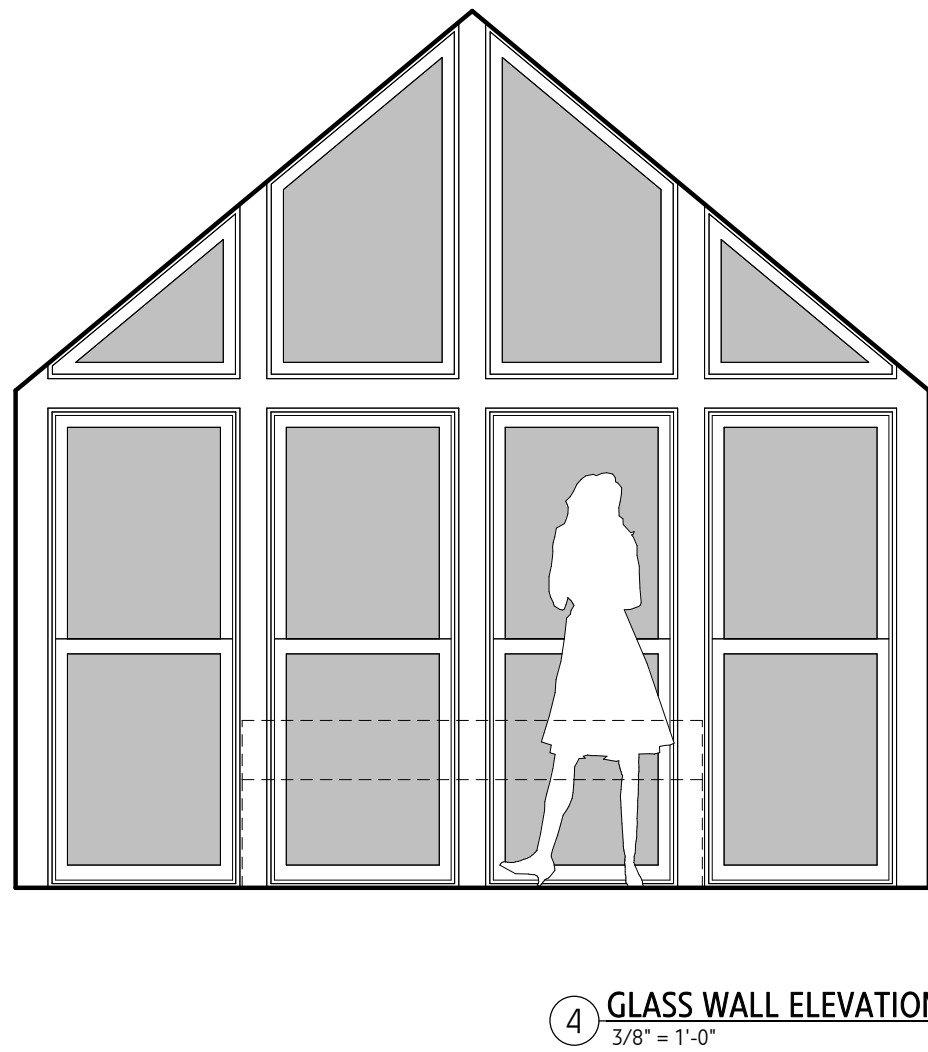
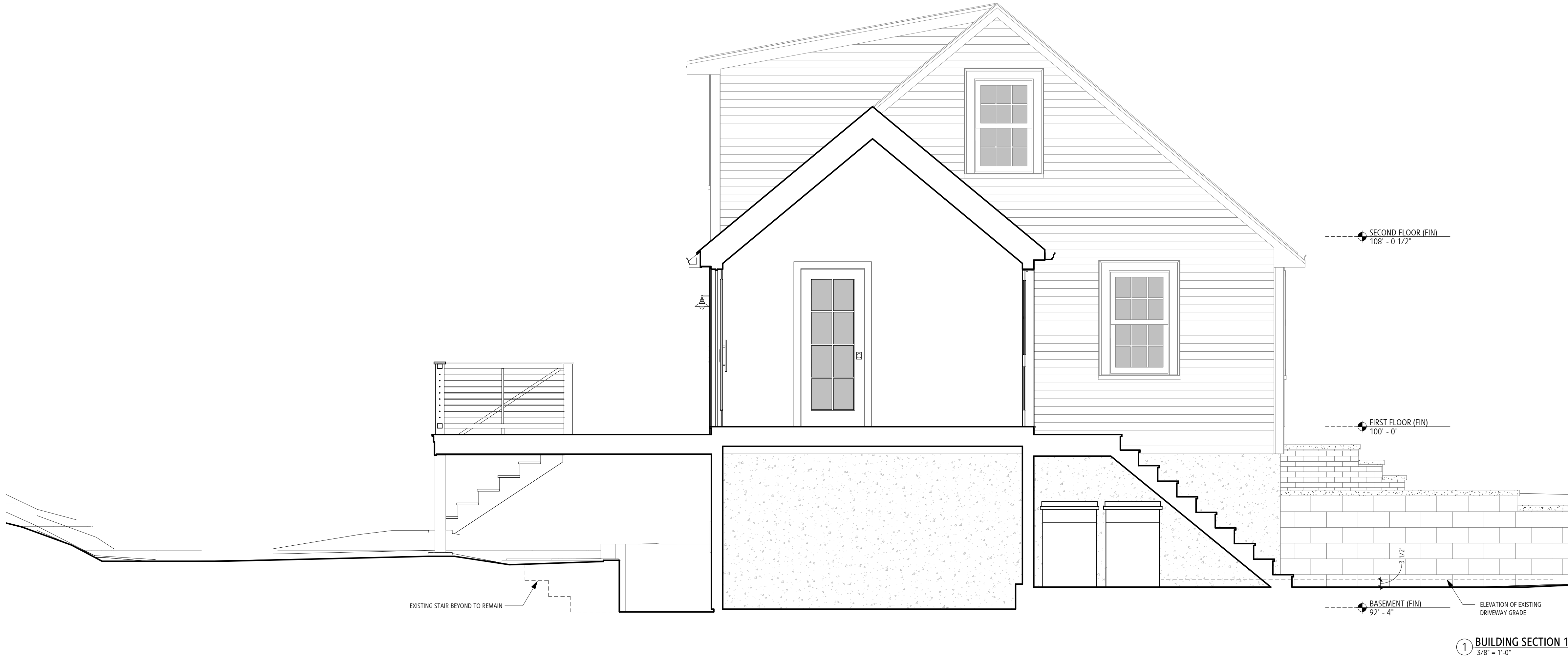
2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

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REVISION #	DATE



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REVISION #	DATE



Town of Arlington, Massachusetts

Docket #3841 69 Henderson St

Summary:

OpenGov link: <https://arlingtonma.portal.opengov.com/records/208845>

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	3841_69_Henderson_St_Legal_Ad.pdf	3841 69 Henderson St Legal Ad
▢ Reference Material	3841_69_Henderson_St_Application_SP-25-2.pdf	3841 69 Henderson St Application SP-25-2
▢ Reference Material	3841_69_Henderson_St_abutter_list_and_map.pdf	3841 69 Henderson St abutter list and map
▢ Reference Material	3841_69_Henderson_St_Plot_Plan_2-26-25.pdf	3841 69 Henderson St Plot Plan 2-26-25
▢ Reference Material	Henderson_PORCH_CONVERSION.pdf	3841 69 Henderson PORCH CONVERSION



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE
DOCKET NO 3841

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Ryan and Martha Severy**, on February 27, 2025, a petition seeking to alter their property located at **69 Henderson St - Block Plan 024.0-0005-0004.0** Said petition would require a **Special Permit** under **5.3.9 D** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" on **Tuesday evening at 7:30 P.M. on April 8, 2025, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

Please direct any questions to: **ZBA@town.arlington.ma.us**

Christian Klein, RA, Chair
Zoning Board of Appeals

**SP-25-2**

Special Use Permit

Application (ZBA)

Status: Active

Submitted On: 2/27/2025

Primary Location69 HENDERSON ST
Arlington, MA 02474**Owner**SEVERY RYAN & MARTHA
69 HENDERSON ST
ARLINGTON, MA 02474**Applicant**Walter
Russell781-799-
4275

@ team@hshbuilds.com

3 Baldwin
Green Common
Suite 202

Woburn, MA 01801

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw. ***Please LIST BYLAW(S)*** ?

The applicant is proposing enclosing an existing front porch that is within the front set back, which per Zoning by-law 5.3.9 paragraph D requires a special permit.

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Enclosing the front porch will allow the growing family to live comfortably in the house, reducing neighborhood turnover and maintaining established community.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Enclosing the porch and creating a landing for the steps will not increase traffic congestion or be an impairment to pedestrian safety.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

There would be no change in the current usage (residential) and therefore would not create any additional burden on municipal systems.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

The proposed project would not result in the need for special regulations.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The proposed project maintains the massing of the existing house which is typical of its East Arlington neighborhood.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The proposed project would not cause any detrimental excesses.

Dimensional and Parking Information

Present Use/Occupancy *

Residential

Proposed Use/Occupancy *

Residential

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

1

Existing Gross Floor Area (Sq. Ft.)*

3181.86

Proposed Gross Floor Area (Sq. Ft.)*

3181.86

Existing Lot Size (Sq. Ft.)*

7809

Proposed Lot Size (Sq. Ft.)* ?

7809

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

40

Proposed Frontage (ft.)*

40

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.41

Proposed Floor Area Ratio*

0.41

Max. Floor Area Ratio required by Zoning*

0

Existing Lot Coverage (%)*

13.8

Proposed Lot Coverage (%)*

13.8

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

7809

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

7809

Minimum Lot Area per Dwelling Unit required by Zoning*

6006

Existing Front Yard Depth (ft.)*

9.7

Proposed Front Yard Depth (ft.)*

9.7

Minimum Front Yard Depth required by Zoning*

25

Existing SECOND Front Yard Depth (ft.)* ?

0

Proposed SECOND Front Yard Depth (ft.)* ?

0

Minimum SECOND Front Yard Depth required by Zoning* ?

0

Existing Left Side Yard Depth (ft.)* ?

3.8

Proposed Left Side Yard Depth (ft.)* ?

3.8

Minimum Left Side Yard Depth required by Zoning* ?

9

Existing Right Side Yard Depth (ft.)* ?

17.3

Proposed Right Side Yard Depth (ft.)* ?

17.3

Minimum Right Side Yard Depth required by Zoning* ?

10

Existing Rear Yard Depth (ft.)*

111.5

Proposed Rear Yard Depth (ft.)*

105.5

Minimum Rear Yard Depth required by Zoning*

20

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

34.93

Proposed Height (ft.)*

34.93

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

4994

Proposed Landscaped Open Space (Sq. Ft.)*

4994

Existing Landscaped Open Space (% of GFA)*

64

Proposed Landscaped Open Space (% of GFA)*

64

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

4994

Proposed Usable Open Space (Sq. Ft.)*

4994

Existing Usable Open Space (% of GFA)* ?

64

Proposed Usable Open Space (% of GFA)* ?

64

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

2

Proposed Number of Parking Spaces*

2

Minimum Number of Parking Spaces required by Zoning*

1

Existing Parking area setbacks

20

Proposed Parking area setbacks *

20

Minimum Parking Area Setbacks required by Zoning*

20

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

4

Proposed Slope of proposed roof(s) (in. per ft.)*

4

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

type 5

Proposed type of construction*

type 5

Open Space Information

Existing Total Lot Area*

7809

Proposed Total Lot Area*

7809

Existing Open Space, Usable*	Proposed Open Space, Usable*
4994	4994
Existing Open Space, Landscaped*	Proposed Open Space, Landscaped*
4994	4994

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area	Accessory Building, Proposed Gross Floor Area
0	0
Basement or Cellar, Existing Gross Floor Area ?	Basement or Cellar, Proposed Gross Floor Area
981.36	981.36
1st Floor, Existing Gross Floor Area	1st Floor, Proposed Gross Floor Area
1102.34	1102.34
2nd Floor, Existing Gross Floor Area	2nd Floor, Proposed Gross Floor Area
1023.04	1023.04
3rd Floor, Existing Gross Floor Area	3rd Floor, Proposed Gross Floor Area
0	0
4th Floor, Existing Gross Floor Area	4th Floor, Proposed Gross Floor Area
0	0
5th Floor, Existing Gross Floor Area	5th Floor, Proposed Gross Floor Area
0	0

Attic, Proposed Gross Floor Area

75.12

Parking Garages, Proposed Gross Floor Area

0

**All weather habitable porches and balconies,
Proposed Gross Floor Area**

Total Proposed Gross Floor Area

3181.86

The image shows a 2x4 grid of icons. The top row contains four icons: a plus sign, a minus sign, a plus sign, and a minus sign. The bottom row contains four icons: a plus sign, a minus sign, a plus sign, and a minus sign.

Applicant's Signature*

✓ Katharine MacPhail
Feb 26, 2025

☒

Attachments



Plot Plan 69 Henderson St Arlington Ma 2-26-25 .pdf

Plot Plan 69 Henderson St Arlington Ma 2-26-25 copy.pdf

Uploaded by Walter Russell on Feb 26, 2025 at 8:08 PM



3841 69 Henderson St Legal Ad.pdf

3841 69 Henderson St Legal Ad.pdf

Uploaded by Colleen Ralston on Mar 11, 2025 at 8:30 AM



3841 69 Henderson St abutter list and map.pdf

3841 69 Henderson St abutter list and map.pdf

Uploaded by Colleen Ralston on Mar 11, 2025 at 8:31 AM



Supporting Documentation [worksheet and drawings]

Required

Henderson PORCH CONVERSION.pdf

Uploaded by Walter Russell on Feb 26, 2025 at 8:06 PM

**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 69 HENDERSON ST Arlington, MA****Subject Parcel ID: 24-5-4****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
24.A-4-60	60 HENDERSON ST UNIT 60	NG CATHERINE & WREN KATHLEEN		60 HENDERSON ST		ARLINGTON	MA	02474
24.A-4-62	62 HENDERSON ST UNIT 62	BRODKIN EMILY M	LORDI MICHAEL G	62 HENDERSON ST		ARLINGTON	MA	02474
24-6-2	0-LOT HENDERSON ST	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG	10 PARK PLZ STE 6620	BOSTON	MA	02116
23.A-5-131.F	13 COTTAGE AVE UNIT 1F	CUI FENGXIN		13 COTTAGE AVE	UNIT 1F	ARLINGTON	MA	02474
23.A-5-131.R	13 COTTAGE AVE UNIT 1R	WOODARD LESLIE GEORGE		13 COTTAGE AVE	UNIT 1R	ARLINGTON	MA	02474
23.A-5-132.F	13 COTTAGE AVE UNIT 2F	DEMCHENKO RUSLAN	NASTYCH OLENA	13 COTTAGE AVE	UNIT 2F	ARLINGTON	MA	02474
23.A-5-132.R	13 COTTAGE AVE UNIT 2R	NIU MENGYAO		13 COTTAGE AVE	UNIT 2R	ARLINGTON	MA	02474
23.A-2-4.1	9 SAWIN ST UNIT 1	HOWARD WYETH EMIL	VEARLING MARIE L	9 SAWIN ST	UNIT 1	ARLINGTON	MA	02474
23.A-2-4.2	9 SAWIN ST UNIT 2	SMITH MICHAEL J		9 SAWIN ST	UNIT 2	ARLINGTON	MA	02474
23-2-1	56 HENDERSON ST	LESSELL NEWELL/ETAL	AIKENHEAD MARGARET G	56 HENDERSON ST		ARLINGTON	MA	02474
23-2-2	3 SAWIN ST	FOURNIER ANTHONY &	SHOHET DIANE	3 SAWIN ST		ARLINGTON	MA	02474
23-2-3	7 SAWIN ST	CERONE MICHAEL C	BEHIZADEH REBECCA	7 SAWIN ST		ARLINGTON	MA	02474
23-2-5	45 TEEL ST	SHAPIRO JONATHAN ETAL/ TRS	SUSSE-SHAPIRO HOUSING TRUST	45 TEEL ST		ARLINGTON	MA	02474
23-2-6	51 TEEL ST	FORT FRANK C	HAMILTON MONICA L	51 TEEL ST		ARLINGTON	MA	02474
23-3-1	8 SAWIN ST	RABIN RICHARD A--ETAL	BECKER MERYL R	8 SAWIN ST		ARLINGTON	MA	02474
23-3-2	42 HENDERSON ST	MAGEE JOHN &	BAKAJ STACEY	42 HENDERSON ST		ARLINGTON	MA	02474
23-4-1	57 HENDERSON ST	OLSON DAVID P & EUGENIE S		57 HENDERSON ST		ARLINGTON	MA	02474
23-4-2	53 HENDERSON ST	GASKI PAUL & MARGARET		53 HENDERSON ST		ARLINGTON	MA	02474
23-4-3	6 COTTAGE AVE	WILSON JONATHAN E & KATE		6 COTTAGE AVE		ARLINGTON	MA	02474
23-4-4	10 COTTAGE AVE	GULEN MICHELLE C & ALTAN K		10 COTTAGE AVE		ARLINGTON	MA	02474
23-4-5	12 COTTAGE AVE	GERSHMAN STEPHEN E	HOLZMAN EMILY	12 COTTAGE AVE		ARLINGTON	MA	02474
23-4-6	0-LOT COTTAGE AVE	THOMPSON PHILIP R/ANNE K		14 COTTAGE AVE		ARLINGTON	MA	02474
23-4-7	18 COTTAGE AVE	KRANZER ELLEN D		18 COTTAGE AVE		ARLINGTON	MA	02474
23-5-17.A	43 HENDERSON ST	AIMO ROBERT G--ETAL	RICKER CAROLYN J	43 HENDERSON ST		ARLINGTON	MA	02474
23-5-18	45 HENDERSON ST	PHILLIPS KARIN J		45 HENDERSON ST		ARLINGTON	MA	02474
23-5-19	7--9 COTTAGE AVE	CHEN HANS T & LIPING		35 RIPLEY ST	UNIT 1	MALDEN	MA	02148
23-5-21	17 COTTAGE AVE	RIVEL ALON	PACKER MICHAEL SAMUEL	17 COTTAGE AVE		ARLINGTON	MA	02474
23-5-22	21 COTTAGE AVE	BARTASH RUSSELL J/ETAL	BARTASH SANDRA	21 COTTAGE AVE		ARLINGTON	MA	02474
23-6-1	0-LOT MASS AVE	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG	10 PARK PLZ STE 6620	BOSTON	MA	02116
24-6-1	0-LOT HENDERSON ST	DEPT/CONSERVATION & RECREATION	WATER SUPPLY PROTECTION DIV	STATE TRANSPORTATION BLDG	10 PARK PLZ STE 6620	BOSTON	MA	02116

**CERTIFIED ABUTTERS LIST****Date: February 28, 2025****Subject Property Location: 69 HENDERSON ST Arlington, MA****Subject Parcel ID: 24-5-4****Search Distance: 300 Feet**

Parcel ID	Property Location	Owner 1	Owner 2	Mailing Address 1	Mail Address 2	City/Town	State	Zip
24-2-10	70 TEEL ST	DRATCH ROBIN M/ TRUSTEE	70 TEEL STREET REALTY TRUST	70 TEEL ST		ARLINGTON	MA	02474
24-2-11	66 TEEL ST	GLYNN SEAN P	SEWELL CAROLINE L	66 TEEL ST		ARLINGTON	MA	02474
24-2-16	60 TEEL ST	SCHLOSSBERGER MATTHEW	GOLDSTEIN BRIANNA	60 TEEL ST		ARLINGTON	MA	02474
24-2-17	56--58 TEEL ST	BIALACH-SZAMRETO KRISTYNA		51 MORNINGSIDE DR		ARLINGTON	MA	02474
24-3-1	15 CROSS ST	COLLINS DAVID S & NANCY L	BROOKS EMILY	15 CROSS ST		ARLINGTON	MA	02474
24-3-2	11 CROSS ST	MARLIN ROBERT	MARLIN-CURIEL STEPHANIE	11 CROSS ST		ARLINGTON	MA	02474
24-3-3	7 CROSS ST	LACKEY WILLIAM/SONIA		7 CROSS ST		ARLINGTON	MA	02474
24-3-4	1 CROSS ST	KRESL TIMOTHY B		1 CROSS ST		ARLINGTON	MA	02474
24-4-1	76 HENDERSON ST	ROJO BRIAN K & MARY L		76 HENDERSON ST		ARLINGTON	MA	02474
24-4-2	72 HENDERSON ST	SEMANAZ CHRISTOHE &	CASSET-SEMANAZ FLORENCE	72 HENDERSON ST		ARLINGTON	MA	02474
24-4-3	68 HENDERSON ST	PAUKULIS KARENA ETAL/ TRUSTEES	PAUKULIS MULLEN TRUST	68 HENDERSON ST		ARLINGTON	MA	02474
24-4-4	64 HENDERSON ST	ROCKWELL GRAHAM N		64 HENDERSON ST		ARLINGTON	MA	02474
24-4-6	55 TEEL ST	WHITNEY CAROL A/ETAL	BARRY JOSEPH V & ANNE W	55 TEEL ST		ARLINGTON	MA	02474
24-4-7	59 TEEL ST	ELLIS JOHN R	BADAWY MERAN A	59 TEEL ST		ARLINGTON	MA	02474
24-4-8	63 TEEL ST	TAYLOR NICHOLAS DALE	BLAIR KATHRYN LEE	63 TEEL ST		ARLINGTON	MA	02474
24-4-9	67 TEEL ST	ROSADO EVERETT		67 TEEL ST		ARLINGTON	MA	02474
24-4-10	71 TEEL ST	ELLER BEN	ELLER CHRISTINA CIOCCA	71 TEEL ST		ARLINGTON	MA	02474
24-5-1	81 HENDERSON ST	DUPEE KARIN A		81 HENDERSON ST		ARLINGTON	MA	02474
24-5-2	77 HENDERSON ST	KESSELMAN JOSEPH J		77 HENDERSON ST		ARLINGTON	MA	02474
24-5-3	73 HENDERSON ST	RAD-SERECHT ROXANE LARA		73 HENDERSON ST		ARLINGTON	MA	02474
24-5-4	69 HENDERSON ST	SEVERY RYAN & MARTHA		69 HENDERSON ST		ARLINGTON	MA	02474
24-5-5	65 HENDERSON ST	THOMPSON ANNE KINSELLA	THOMPSON PHILIP R	14 COTTAGE AVE		ARLINGTON	MA	02474
24-5-6	61 HENDERSON ST	COULTHARD CHRISTOPHER M	GAYLE LORINDA L	61 HENDERSON ST		ARLINGTON	MA	02474
24-5-7	14 COTTAGE AVE	THOMPSON ANNE KINSELLA	THOMPSON PHILIP R	14 COTTAGE AVE		ARLINGTON	MA	02474
26-6-16.A	30 BROADWAY	THE CATHOLIC CEMETARY ASSOC	ARCHDIOCESE OF BOSTON INC	100 CUMMINGS CTR	SUITE 421F	BEVERLY	MA	01915

The Board of Assessors certifies the names and addresses of requested parties in interest, all abutters to subject parcel within 300 feet.

**Town of Arlington****Office of the Board of Assessors****730 Massachusetts Ave****Arlington, MA 02476****phone: 781.316.3050 | email: assessors@town.arlington.ma.us**

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- Places by Category
- Police Station
 - Fire Station
 - School
 - Library
 - Public Works
 - Recreation - Facilities
 - Recreation - Fields Cc
 - Recreation - Fields Cc
 - Open Space: Conserv
 - Open Space - Minuter
 - Open Space - Labels
 - Open Space
 - Town, State, or
 - Other Town Ow
 - MA Highways
 - Interstate
 - US Highway
 - Numbered Rout
 - Abutting Towns
 - Town Boundary
 - Parcels
 - Buildings
 - Cemetery - Roads
 - Road1
 - Road2
 - Road3
 - Road4
 - Pavement Markings
 - Impervious Surface - f
 - Street
 - Sidewalk
 - Street Island
 - Driveway
 - Parking Lot
 - Bike Path
 - Roads - For Large Sci
 - Roads - For Small Sci
 - Major Road
 - Local Road
 - Master Plan Base Maj
 - Water Line
 - Water Body



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

- NOTES:
- 1. LOT SLOPES AWAY LESS THAN 5% (2% + 3%) / 2 = 2.5%
 - 2. AVERAGE CURB GRADE= 8.27' + 9.77' / 2 = 9.02'
 - 3. BUILDING HEIGHT = ROOF ELEVATION 43.95' - AVERAGE GRADE CURB LINE 9.02' = 34.93'
 - 4. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED UPON GPS OBSERVATIONS.
 - 5. THE TOP OF BANK OF ALEWIFE BROOK WAS LOCATED IN THE FIELD BY AN INSTRUMENT SURVEY BY THE LAND SURVEYOR.
 - 6. ACCORDING TO FLOOD INSURANCE RATE MAP 25017CO419E WITH AN EFFECTIVE DATE OF 6/4/10 A PORTION OF THE PROPERTY FALLS WITHIN SPECIAL FLOOD PLANE AREA ZONE AE AND A PORTION FALLS WITHIN SPECIAL FLOOD PLANE AREA ZONE X.
 - 7. SEE LETTER OF MAP REVISION 15-01-2142P WITH AN EFFECTIVE DATE OF APRIL 8, 2016 WHICH SHOWS A BASE FLOOD ELEVATION OF 6.7'
 - 8. SEE PRELIMINARY REVISED FLOOD INSURANCE RATE MAP 25017CO419F DATED 6/8/23 WHICH SHOWS A BASE FLOOD ELEVATION OF 6.7'

OWNER OF RECORD
MARTHA & RYAN SEVERY
69 HENDERSON STREET
ARLINGTON, MA

DEED REFERENCE
BOOK 73155 PAGE 359

PLAN REFERENCE
GREATER PART OF LOT 63
PLAN BOOK 45 PLAN 4
DATED OCTOBER 1884

TOWN OF ARLINGTON
ASSESSORS MAP 24 BLOCK 5 LOT 4.0

ZONE: R1

ZONING DIMENSIONAL REGULATIONS

REQUIRED:

MINIMUM LOT AREA: 6,000 S.F.
MINIMUM LOT FRONTAGE: 60'
MINIMUM FRONT SETBACK: 25'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 20'
MAXIMUM LOT COVERAGE: 35% = 2,733 S.F.
MAXIMUM HEIGHT: 2 1/2 STORIES - 35'
MINIMUM USABLE OPEN SPACE: 30% OF GROSS FLOOR AREA
= .30 X 3,182 S.F. = 955 S.F.
MINIMUM LANDSCAPED OPEN SPACE: 10% OF GROSS FLOOR AREA
= .10 X 3,182 S.F. = 318 S.F.

EXISTING:

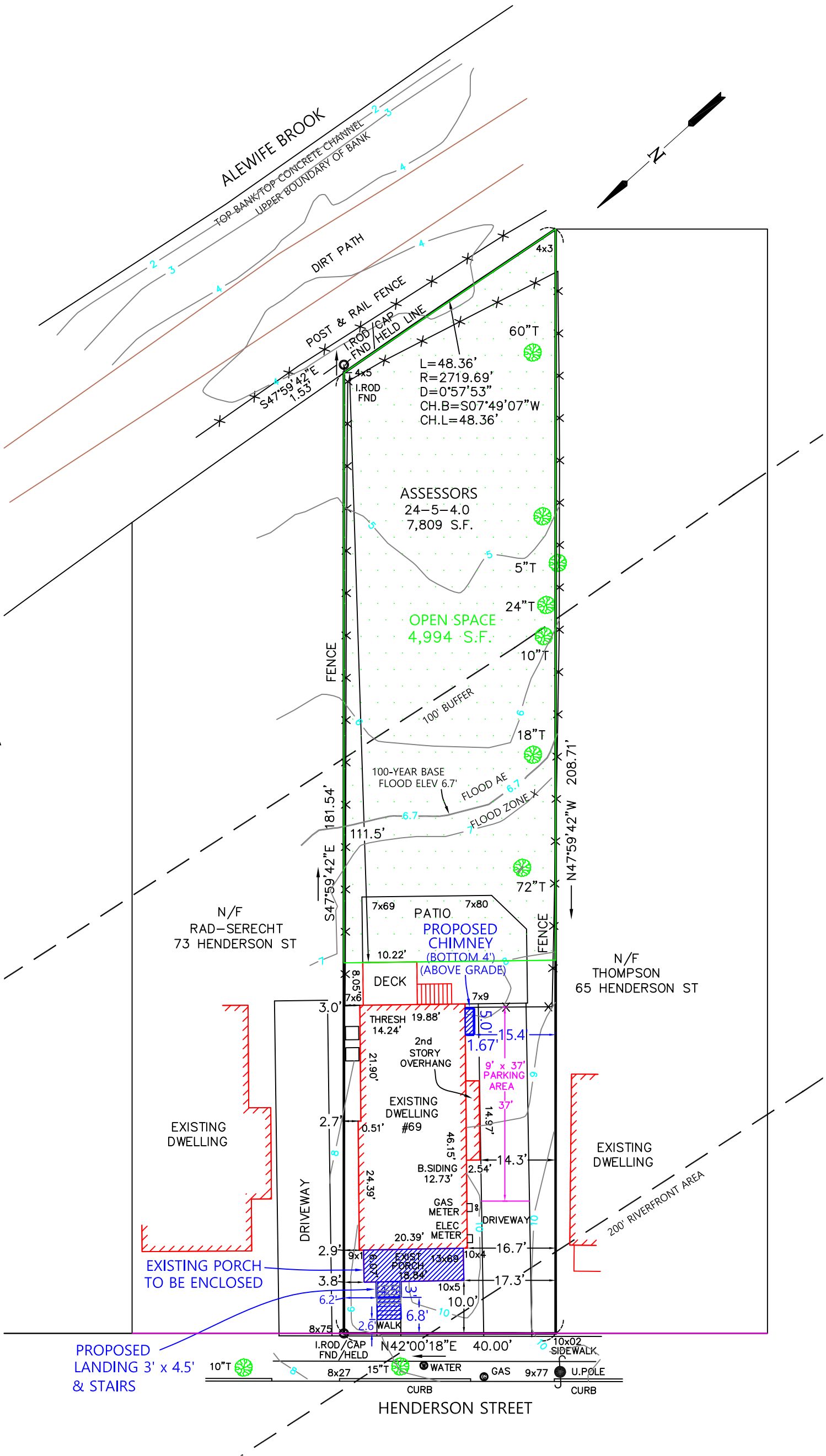
LOT AREA: 7,809 S.F.
LOT FRONTAGE: 40.00'
FRONT SETBACK: 9.7'
SIDE SETBACK: 2.7'
REAR SETBACK: 111.5'
LOT COVERAGE: 1,084 S.F./ 7,809 S.F. = 14.0%
BUILDING HEIGHT: 34.93'
IMPERVIOUS: 2,192 S.F.
USABLE OPEN SPACE: 4,994 S.F.
LANDSCAPED OPEN SPACE: 4,994 S.F.

PROPOSED:

FRONT SETBACK: CHIMNEY 56.4', LANDING 6.8', STAIRS 2.6'
SIDE SETBACK: CHIMNEY 15.4', LANDING 6.2', STAIRS 6.2'
REAR SETBACK: CHIMNEY 122.6'
LOT COVERAGE: 1,097 S.F./ 7,809 S.F.= 13.8%
BUILDING HEIGHT: 34.93'
IMPERVIOUS = 2,178 S.F. (14 S.F. DECREASE)
USABLE OPEN SPACE: 4,994 S.F.
LANDSCAPED OPEN SPACE: 4,994 S.F.

EXISTING IMPERVIOUS
EXISTING BUILDING 969 S.F.
EXISTING PORCH 114 S.F.
EXISTING DRIVEWAY 564 S.F.
EXISTING PATIO 506 S.F.
EXISTING WALK 26 S.F.
A.C. UNITS 13 S.F.
TOTAL EXISTING IMPERVIOUS 2,192 S.F.

PROPOSED IMPERVIOUS
EXISTING BUILDING 969 S.F.
PROPOSED ENCLOSED PORCH 114 S.F.
EXISTING DRIVEWAY 564 S.F.
EXISTING PATIO 506 S.F.
EXISTING WALK 12 S.F.
A.C. UNITS 13 S.F.
TOTAL PROPOSED IMPERVIOUS 2,178 S.F.



PROPOSED CHIMNEY, ENCLOSED PORCH & LANDING

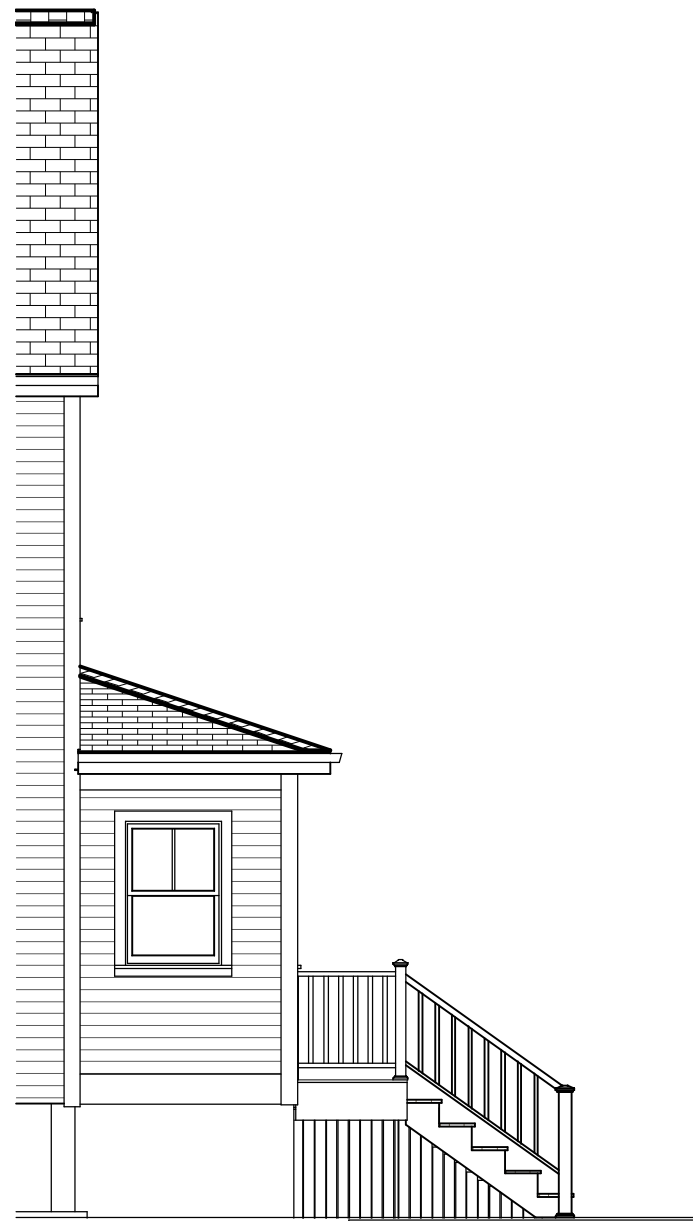
69 HENDERSON STREET
ASSESSORS MAP 24 BLOCK 5 LOT 4.0
ARLINGTON, MA
PREPARED FOR
RYAN & MARTHA SEVERY

STEPHEN M. MELESCIUC

PROFESSIONAL LAND SURVEYOR #39049

514 GAZEBO CIRCLE
READING, MA 01867
(781) 844-7108

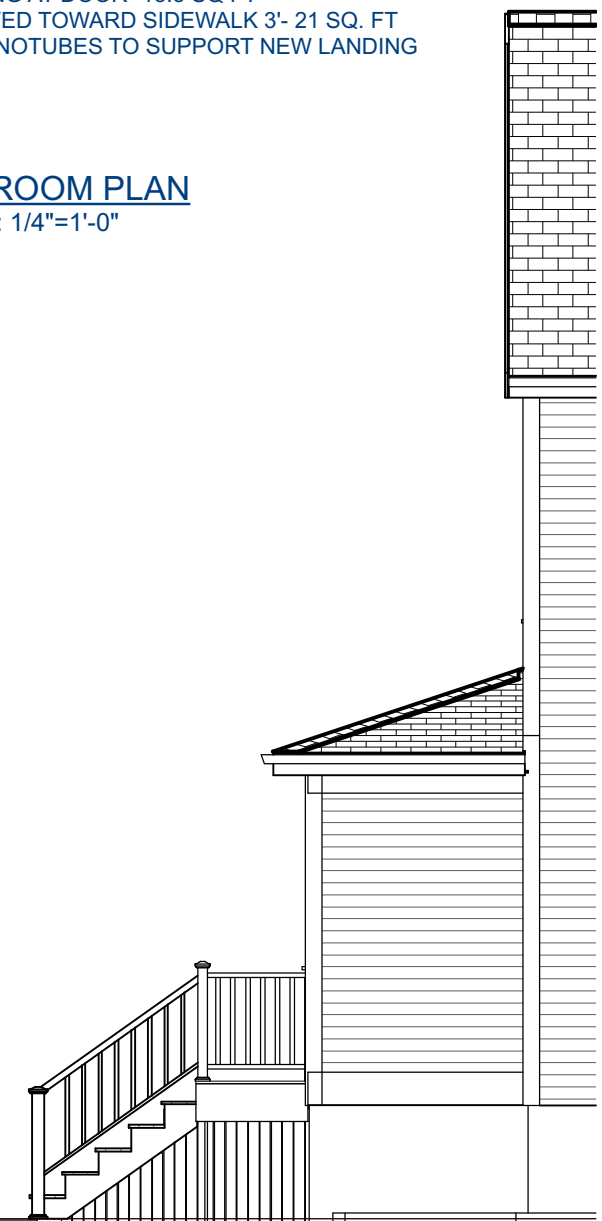
SCALE: 1"= 20' DATE: FEBRUARY 26, 2025



SIDE ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0" 245 of 245



SIDE ELEVATION
SCALE: 1/4"=1'-0"

